



भारतसरकार
केन्द्रीय लोकनिर्माणविभाग
कार्यालय कार्यपालक अभियंता-1 (सिविल)



निर्माणसदन, कमरानं. 02, 52-ए अरेराहिल्स, भोपाल 462011

Ph : 0755-2679322, Fax : 2559506 E-mail : eebcd1cpwd.mp@nic.in&eebcd1cpwd786@yahoo.com

पत्र क्र. 23(758)/का.अ.-1/भोपाल/2025-26/138 हि.

भोपालदिनांक : 15 / 01 / 2026

//CORRIGENDUM-1//

Name of work :-C/o Additional Quarters for Staff/Officers of Reserve Bank of India at Char Imli, Bhopal, Madhya Pradesh in EPC Mode-III.

SH:-C/o 72 Nos. Grade A Qtrs. (Stilt + 9), 10 Nos. Grade D&E & 1 No. Grade F Qtrs. (Stilt + 7), 1 No. R&D Bungalow (G+1), 28 Nos. Class-III Qtrs. (Stilt + 7), Facility block (G+4) , Swimming Pool, 33KV Electrical Sub-station & Building, 2Nos Gate & Security Blocks including Internal & External Water supply, Sanitary Installation, Electrical installation and development Works & bulk services of Roads, Footpath, Drains, retaining walls, UG Sump & pump room, Sewage Treatment Plant(STP), upgradation of main Campus Boundary Wall, CCTV System, Networking, DG Set, Fire Fighting System, Fire Alarm System, Street Lighting, Lifts, EV Charging, OWC, Domestic & Flushing Water pumping System, Solar PV System, Boom Barrier, Gas Suppression System, Signage's, UPS, Mechanical Ventilation and Pressurization System, BMS, Horticulture work ,site office, barricading construction sites including demolishing of existing residential D block and temporary structures.(Package-1).

NIT No. : 56/CE(Bhopal)/EE-I/2025-26.

The pre-bid meeting held on 09.01.2026 at 11.30 am to 1.30 pm in the conference hall of O/o Chief Engineer (Bhopal), CPWD, Nirman Sadan, Bhopal for the aforesaid work.

During the pre-bid meeting, various issues and observations were raised by bidders, both in person and via email. These were discussed in detail, and after thorough deliberation, the following decisions were made. Accordingly following corrigendum is issued to the NIT No. 56/CE(Bhopal)/EE-I/2025-26.

Sl. No.	NIT Page No./ Description	Existing	Modified/Amendment
1	Page no 710	Existing boundary wall length mentioned at page no 710 of NIT, item no C25 of BOQ, i.e. 1200 meter.	Existing boundary wall length mentioned at page no 710 of NIT, item no C25 of BOQ, i.e. 1200 meter. Sketch of existing boundary wall and to be modified boundary wall attached with NIT.
2	Page no 29	Space within the RBI premises shall be made available for construction of only 30 (thirty) labour hutments for accommodation of labour engaged in the execution of the work. The contractor shall restrict the construction and use of labour hutments within the premises strictly to this limit. For deployment of labour in excess of the above number, the contractor shall, at his own responsibility and cost, make independent arrangements for labour accommodation by hiring land and constructing labour camps outside the RBI premises, in compliance with the provisions of CPWD General Conditions of Contract (GCC), Contract	Space within the RBI premises shall be made available for construction of only 30 (thirty) labour hutments for accommodation of labour engaged in the execution of the work. The contractor shall restrict the construction and use of labour hutments within the premises strictly to this limit. For deployment of labour in excess of the above number, the contractor shall make independent arrangements for labour

		Labour (Regulation & Abolition) Act, local laws, and all applicable statutory requirements.	accommodation by hiring minimum land of approximately 0.50 acre for accommodating 300 labour apart from construction site. The cost of hiring of land and transportation facility from work site to labour camp shall be paid as per provision in the NIT. The arrangement for making hutment shall be at his own responsibility and cost, and constructing labour camps outside the RBI premises, in compliance with the provisions of CPWD General Conditions of Contract (GCC), Contract Labour (Regulation & Abolition) Act, local laws, and all applicable statutory requirements.						
3	Page no 86	Note :- Recovery for BIM modeling Professional No provision in NIT	Add at sl no. 9 of table for BIM professional and recovery rate						
			Sl. No.	Requirement of Technical Staff	Minimum experience (year)	Designation of Technical Staff	Rate at which recovery shall be made from the contractor in the event of not fulfilling		
				Qualification	Number (of Major + minor component)		Figures	words	
			9	BIM Professional	1	5 years	BIM Professional	Rs. 300000/- per month	Rs. Three Lakh per month
4	Page no 691 to 700	Schedule of stage payment given in NIT at page no. 691 to 700.	Schedule of stage payment from NIT at page no. 691-700 read as deleted. The Schedule of stage payment modified as per (i) annexure-I (Civil), (ii) annexure-II(Horticulture) (iii)annexure-III (Land space for labour hut, vehicle and office staff) (iv) annexure-IV (Electrical) attached.						
5	Page 1047	The structural drawing attached at page no 1047. The grade of concrete mentioned M25.	The Grade of concrete to be used for construction of swimming pool shall be of minimum grade of M30.						
6	Page No. 86	Requirement of Technical Representative(s) and Recovery Rate 3. Graduate Engineer B Arch (Degree in Architecture)	Requirement of Technical Representative(s) and Recovery Rate 3. Architect, B Arch (Degree in Architecture)						
7	Page no 71	27.0 Modular Kitchen, Wardrobe, Furniture, Gym equipment, Children play equipment, UG Sump and external development work are not in the scope of this NIT, if any, drawings of above element are uploaded in this NIT, shall not be considered part of this NIT& the bidder has to quote their rate accordingly.	27.0 Modular Kitchen, Wardrobe, UG Sump and external development work are in the scope of this NIT, drawings of above element already uploaded in this NIT, the bidder has to quote their rate accordingly.						
8	Page no. 220	1.15 All fees payable to Government/ Local Body including statutory payments to be demanded either in the name of RBI or CPWD for the various Approvals of civil work, shall be borne by the RBI/CPWD except otherwise mentioned this	All fees payable to Government/ Local Body including statutory payments to be demanded either in the name of RBI or CPWD for the various Approvals of civil & electrical work, shall be borne by the						

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		document.	RBI/CPWD except otherwise mentioned this document.
9	Page no 746	Add @ 3% contingencies – Rs. 387980793.00	This Para to be treated as deleted.
10		CAD file of the Architectural drawings No provision in NIT	The CAD file (Google link) shall be provided to the bidder as per their request by mail.
11	Page no 710 sl. No. C-24	Dismantling / demolishing the abandoned Residential Quarters ['D' type Block comprising 24 flats – R.C.C framed structure - (Ground + 3 floors) on the South side of the existing gate No. 1 including foundation / sub-structure, temporary car parking on the West side of the abandoned 'D' type block to be demolished, old load bearing type building / structure housing the Gymnasium on the East side of the existing Gate No.2 including foundation / sub-structure, galleries along with the semi-permanent shelters above them on the South side of the Community Hall including foundations / sub-structures, water harvesting structures / installations above and below ground level, stone / boulder mounts and masonry retaining walls in the proposed construction area and disposing and carting away the debris / materials generated from the demolition, which are not required to be reused, as per the Schedule of Civil items, CPWD Specifications 2019 and Local Body Guidelines and as directed by the Engineer-in-Charge. The Contractor shall dispose and clear all the demolished / dismantled materials from the colony premises, including all leads and lifts. (All the materials generated after the demolition shall be the property of Contractor and hence the rate for this item shall be including rebate (scrap / buy-back value) for the salvageable items generated from the work. The amount of rebate (scrap / buy-back value) shall be deposited by the Contractor in the office of Engineer-in-Charge).	Dismantling / demolishing the abandoned Residential Quarters ['D' type Block comprising 24 flats – R.C.C framed structure - (Ground + 3 floors) on the South side of the existing gate No. 1 including foundation / sub-structure, temporary car parking on the West side of the abandoned 'D' type block to be demolished, old load bearing type building / structure housing the Gymnasium on the East side of the existing Gate No.2 including foundation / sub-structure, galleries along with the semi-permanent shelters above them on the South side of the Community Hall including foundations / sub-structures, water harvesting structures / installations above and below ground level, stone / boulder mounts and masonry retaining walls in the proposed construction area and disposing and carting away the debris / materials generated from the demolition, which are not required to be reused, as per the Schedule of Civil items, CPWD Specifications 2019 and Local Body Guidelines and as directed by the Engineer-in-Charge. The Contractor shall dispose and clear all the demolished / dismantled materials from the colony premises, including all leads and lifts. (All the materials generated after the demolition shall be the property of Contractor and hence the rate for this item shall be including rebate (scrap / buy-back value) for the salvageable items generated from the work. The amount of rebate (scrap / buy-back value) shall be deposited by the Contractor in the office of Engineer-in-Charge).
12	Page no. 712 item no. C-29	Structural drawing of Main entrance gate with wicket gate and canopy No provision in the NIT	Structural drawing Main entrance gate with wicket gate and canopy Attached. 1 FOOTING LAYOUT PLAN & DETAILS- HA/2025/RBI/MG/FN/02 2 GATE TOP BEAM FRAMING PLAN & SECTIONS - HA/2025/RBI/MG/GTB/04 3 GROUND(PLINTH) BEAM FRAMING PLAN & SECTIONS OR BEAM DETAILS - HA/2025/RBI/MG/GB/03 4 COLUMN LAYOUT PLAN & R/F SCHEDULE - HA/2025/RBI/MG/CL/01 5 MAIN GATE DETAIL - RBI-BHO-AR-GATE-100

13	Page no. 711 item no. C-26	Structural drawing of temporary shed for STP and OWC No provision in the NIT	Structural drawing of temporary shed for STP and OWC – Attached. 1. ANCHOR BOLT PLAN & DETAILS - HA/2025/RBI/STP/OWC/TRUSS/04 2. COLUMN LAYOUT PLAN & R/F SCHEDULE - HA/2025/RBI/STP/OWC/CL/01 3. FOOTING LAYOUT PLAN & DETAILS - HA/2025/RBI/STP/OWC/FN/02 4. GROUND(PLINTH) BEAM FRAMING PLAN & SECTIONS OR BEAM DETAILS - HA/2025/RBI/STP/OWC/GB/03 5. TRUSS FRAMING PLAN & PURLIN & ROOF SHEET LEVEL PLAN - HA/2025/RBI/STP/OWC/TRUSS/04C 6. STP AND ORGANIC WASTE COMPOSTER DETAIL - RBI-BHO-AR-STP-100
14		In structural drawing of grade slab, the thickness is mentioned 100 mm and grade of concrete M-20 for all buildings.	The grade of concrete for grade slab shall be M-30 and thickness shall be 150 mm for all buildings.
		ELECTRICAL	
15	NIT Page No. 349 Sl. No.31-	1 no at every 10 sq mtr area i/c sub-station and fire pump house, swimming pool panel room	The Power point shall be as per inventory or minimum 1 power point for every 10 sqm plinth area which is higher. However power point increase it shall be paid as per rates of DSR, Cost Index and as relevant clause 12
16	NIT Page No. 506	1. Supply, Installation, Testing & Commissioning of filtration equipment made out of Totally Anti Corrosive polyester with fiber glass filter of 2000mm diameter & 160mm connection of approved colour fitted with pressure gauge manual air bleeder, water drain plug fitted with collected arms and diffuser made from unplasticized PVC and polypropylene inlet/ outlet flanged connections, sand dump port , capable for a flow of 120-125 m ³ /hr. with filtration Velocity of not more than 40 m ³ /hr/m ² and working pressure of 2.5 kg/sq cm, complete as per technical specification & conditions attached.	1. Supply, Installation, Testing & Commissioning of filtration equipment made out of Totally Anti Corrosive polyester with fiber glass filter of 1200mm. diameter - 2 Nos & 160mm connection of approved colour fitted with pressure gauge manual air bleeder, water drain plug fitted with collected arms and diffuser made from unplasticized PVC and polypropylene inlet/ outlet flanged connections, sand dump port , capable for a flow of 120-125 m ³ /hr. with filtration Velocity of not more than 40 m ³ /hr/m ² and working pressure of 2.5 kg/sq cm, complete as per technical specification & conditions attached.
17	NIT Page No. 651 Sl. No.1-	(List of Approved Materials (Electrical)) 1. FRLS/FRLSH PVC insulated Copper wire/TV/ Telephone Cable	(List of Approved Materials (Electrical)) 1. FRLSHZ PVC insulated Copper wire/TV/ Telephone Cable
18		Layout plan of STP(75 KLD) Not Attached	Attached Drawing No. MG/STP/75KLD/Layout/01
19		Inventory of E&M services not attached	Attached (4 nos. sheet)

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Page no. 747	Existing PROFORMA FOR QUOTING THE RATES						Modified PROFORMA FOR QUOTING THE RATES					
	Sr. No.	Name of Component	Estimated Cost	Percentage above or below the estimated cost	% in figures	Total Cost (Rs.)	Sr. No.	Name of Component	Estimated Cost	Percentage above or below the estimated cost	% in figures	Total Cost (Rs.)
	1.	Civil Work	Rs.91,08,61,878.00	Above / Below / At Par			1.	Civil Work	Rs.91,08,61,878.00	Above / Below / At Par		
	2.	Electrical Work	Rs.37,38,19,866.00	Above / Below / At Par			2.	Electrical Work	Rs.37,44,02,406.00	Above / Below / At Par		
	3.	Horticulture work	Rs. 83,44,684.00	Above / Below / At Par			3.	Horticulture work	Rs. 83,44,684.00	Above / Below / At Par		
	4.	Provision for making arrangement for providing space to the labour on rental basis due to limitation of site space available in the RBI Campus, Bhopal and expenditure on account of providing inspection vehicle and office staff.	Rs. 77,23,392.00	Above / Below / At Par			4.	Provision for making arrangement for providing space to the labour on rental basis due to limitation of site space available in the RBI Campus, Bhopal and expenditure on account of providing inspection vehicle and office staff.	Rs. 77,23,392.00	Above / Below / At Par		
		(Composite) Total Cost	Rs.130,07,49,820.00					(Composite) Total Cost	Rs.130,13,32,360.00			

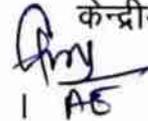
All other terms and conditions of the NIT will remain unchanged. This corrigendum shall form part of the agreement.

This issues with the approval of CE (Bhopal), CPWD, Bhopal.

प्रतिलिपि :-

1. मुख्य अभियन्ता (भोपाल), केलोनिवि, भोपाल को सूचनार्थ प्रेषित ।
2. कार्यपालक अभियन्ता (वै.), केलोनिवि, भोपाल को सूचनार्थ प्रेषित ।
- 3- Website :<https://etender.cpwd.gov.in> पर प्रकाशित करने हेतु ।
- 4- NIT No. 56/CE(Bhopal)/EE-I/2025-26


कार्यपालक अभियन्ता-1
केन्द्रीय लो.नि.वि, भोपाल


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कार्यपालक अभियन्ता-1

SCHEDULE OF STAGE PAYMENT**[Major Component – CIVIL]**

All running / intermediate & final payments shall be made to the agency in accordance with the following schedule:

(Civil amount Rs 910861878.00 = 100 % of the quoted rates of civil component)

S. No.		Breakup of % of Item Contract value	Cumulative % of Item Contract value
1.0	Temporary Barricading, Setting up of site office lab ,	0.50	0.50
2.0	Completion of foundation & plinth including plinth beams and grade slab of all buildings 1. Residential towers (Grade A Quarters) (S+9 floor) 2. Residential tower (Grade D & Above quarters) (S+7 floor) 3. Residential bungalow (RD Bungalow) (G+1) including all round Boundary wall. 4. Residential towers (Class III Quarters) (S+7) 5. Facility Block VOF(G+4), including Security Block, Electrical Substation Building, Swimming Pool including all round Boundary wall etc UG sump, underground Pump room, balancing tank, UG pump room, shed for STP and OWC.		15 %
2.1	Excavation & PCC	5.00 %	
	On completion of Foundation and plinth beams and gradeslab	8.00%	
2.3	Site office:-On completion of foundation and super structure i/c finishing and furnishing with furniture and office equipments complete.	1.00%	
2.4	Dismantling and removal of building rubbish of D Block and temporary shed near proposed RD Bungalow and swimming pool.	1.00%	
3.0	Completion of super structure works (RCC/ structural works) of the following building (from Ground/Stilt floor to terrace floor) 1. Residential towers (Grade A Quarters) (S+9 floor) 2. Residential tower (Grade D & Above quarters) (S+7 floor) 3. Residential bungalow (RD Bungalow) (G+1) including all round Boundary wall. 4. Residential towers (Class III Quarters) (S+7) 5. Facility Block VOF(G+4), 6. 2 nos. security block 7. Electrical substation 8. Change room of swimming pool. 9. Mumty of pump room. 10. Boundary wall of RD Bungalow and Swimming pool, shed for STP and OWC.		
3.1	Residential towers (Grade A Quarters) (S+9 floor).		22.00%

CORRECTION NIL INSERTION NIL
 CUTTING NIL OVERWRITING NIL AE(P) EE(P)

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	RCC frame Stilt floor to 4 th Floor	11%	
	RCC frame 4 th Floor to 9 th Floor	11%	4%
3.2	Residential tower (Grade D & Above quarters) (S+7 floor)		
	RCC frame Stilt floor to 3 rd Floor	2%	
	RCC frame 3 rd floor to 7 th floor	2%	1.50%
3.3	Residential bungalow (RD Bungalow) (G+1)		6.00%
3.4	Residential towers (Class III Quarters) (S+7)		
3.4.1	RCC frame Stilt floor to 3 rd Floor	3.00%	
3.4.2	RCC frame 3 rd floor to 7 th floor	3.00%	
3.5	Facility Block VOF(G+4), including Security Block, Electrical Sub station Building, Swimming Pool including Boundary wall etc.		5.00%
3.5.1	RCC frame Ground floor to 2 nd Floor and Swimming Pool	1.50%	
3.5.2	RCC frame 2 nd floor to 4 th floor	1.50%	
3.5.3	2 nos. security block	0.60%	
3.5.4	Electrical substation	0.50%	
3.5.5	Change room of swimming pool.	0.10%	
3.5.6	Mumty of pump room.	0.10%	
3.5.7	Boundary wall of RD Bunglow and Swimming pool.	0.30%	
3.5.8	Shed for STP and OWC, shed for grade F Quarter of Grade D Block etc.	0.40%	
3.6	On completion of RCC Terrace Water Tank, Mumty, lift machine room etc.complete		2.00%
4.0	On completion of filler/ masonry walls from stilt/Ground floor to terrace, mumty, lift machine room including parapet walls (for all buildings).		2.00 %
5.0	On completion of water proofing		2.00%
6.0	Completion of flooring, internal and external plaster works including cladding/dado.		11.00%
6.1	Residential towers (Grade A Quarters) (S+ 9 floors).		
	Stilt floor to 4 th Floor	3%	
	4 th Floor to 9 th Floor i/c Mumty	3%	
6.2	Residential tower (Grade D & Above quarters) (S+7 floor)		
	Stilt floor to 3 rd Floor	1.00%	
	3 rd floor to 7 th floor i/c Mumty	0.50%	
5.3	Residential bungalow (RD Bungalow) (G+1)	0.50%	
5.4	Residential towers (Class III Quarters) (S+7)		
	Stilt floor to 3 rd Floor	0.50%	
	3 rd floor to 7 th floor i/c Mumty	0.50%	
5.5	Facility Block VOF (G+4), including 2 nos. Security Block, Electrical Sub station Building, Swimming Pool including Boundary wall etc.		
	Ground floor to 2 nd Floor and Swimming Pool	0.50%	
	2 nd floor to 4 th floor i/c Mumty	0.50%	
5.6	Underground sump including underground pump room and mumty	0.50%	
5.7	Change room of swimming pool, balancing tank, underground pump room of swimming pool and mumty.	0.50%	
6.0	Completion of Door & Window work i/c window grill		
6.1	Residential towers (Grade A Quarters) (S+ 9 floors).		4.00%
	Stilt floor to 4 th Floor	0.50%	

CORRECTION NIL INSERTION NIL

CUTTING NIL OVERWRITING NIL

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6.2	4 th Floor to 9 th Floor i/c Mumty Residential tower (Grade D & Above quarters) (S+7 floor)	0.40%	
	Stilt floor to 3 rd Floor	0.40%	
6.3	3 rd floor to 7 th floor i/c Mumty	0.50%	
6.4	Residential bungalow (RD Bungalow) (G+1)	0.40%	
	Residential towers (Class III Quarters) (S+7)		
	Stilt floor to 3 rd Floor	0.45%	
	3 rd floor to 7 th floor i/c Mumty	0.35%	
6.5	Facility Block VOF (G+4), including Security Block, Electrical Sub station Building, Swimming Pool etc.		
	Ground floor to 2 nd Floor and Swimming Pool	0.50%	
	2 nd floor to 4 th floor i/c Mumty	0.50%	
7.0	On completion of all sanitary & water supply Plumbing work		3.50%
	Residential towers (Grade A Quatres) (S+9 floor)	1.50%	
	Residential tower (Grade D & Above quarters) (S+7 floor)	0.50%	
	Residential bungalow (RD Bungalow) (G+1)	0.50%	
	Residential towers (Class III Quarters) (S+7)	0.50%	
	Facility Block VOF (G+4), including 2nos. Security Block, change room of swimming pool, Swimming Pool etc.	0.50%	
8.0	On completion of miscellaneous works such as false ceiling, railing, plinth protection, ramps, steps etc.		3.00%
	Residential towers (Grade A Quatres) (S+9 floor)	1.00%	
	Residential tower (Grade D & Above quarters) (S+7 floor)	0.50%	
	Residential bungalow (RD Bungalow) (G+1)	0.50%	
	Residential towers (Class III Quarters) (S+7)	0.50%	
	Facility Block VOF (G+4), including 2nos. Security Block, change room of swimming pool, Swimming Pool etc.	0.50%	
9.0	On completion of internal and external painting, putty, polishing (except final coat of painting)		4%
	Residential towers (Grade A quatres) (S+9 floor)	1.50%	
	Residential tower (Grade D & Above quarters) (S+7 floor)	0.50%	
	Residential bungalow (RD Bungalow) (G+1)	0.50%	
	Residential towers (Class III Quarters) (S+7)	0.50%	
	Facility Block VOF (G+4), including 2nos. Security Block, change room of swimming pool, Swimming Pool, boundary wall, shed for STP and OWC& temporary shed for grade F Quarter of Grade D Block etc.	0.50%	
	On completion of 50% Horticulture work	0.50%	
10.0	Providing and fixing of sanitary & water supply fixtures, final coat of internal and external painting, complete in all respect including cleaning of building and adjoining site.		2 %
11.0	Development work and work services (Civil work)		10.00%
i)	Completion of bituminous road i/c preparation of sub grade, compaction, supply and filling GSB, WMM, BM, BC complete i/c completing of level book.	2.50%	
ii)	Completion of all footpath parking ramp, curve stone, paver block i/c making sub grade etc. complete.	0.50%	
iii)	Providing and fixing external sewer lines i/c trenching, refilling and preparing bed, manholes etc. complete	1.50%	
iv)	Providing and fixing external water supply line filtered and unfiltered	1.50%	

CORRECTION NIL INSERTION NIL
CUTTING NIL OVERWRITING NIL AE(P) EE(P)

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	outer ring man distribution line and i/c valves, fittings, chambers etc. complete.		
v)	Storm water drain, drainage line i/c pipes, bed concrete, trenching and refilling i/c inspection chamber etc. complete.	1.50%	
vi)	Rain water harvesting, construction of pit as per architectural drawing complete i/c bypass arrangement has specified	0.40%	
vii)	Trenches for services all completed as per tendered drawings.	0.20%	
viii)	Construction of retaining wall i/c painting and providing Weep holes	0.50%	
ix)	Road marking, providing and fixing signages.	0.20%	
x)	Providing and fixing MS Plate with CNC cutting i/c painting over existing campus boundary wall i/c providing and fixing 2 nos. MS Gate with RCC column at entry and exist.	0.50%	
xi)	Completion of boundary wall for RD Bunglow and swimming pool i/c providing and fixing of MS gate	0.20%	
xii)	Completion of MS temporary shed for STP and OWC.	0.50%	
11.0	On completion of all Civil and Horticulture work including cleaning of site.		1.50%
12.0	Issue of completion certificate of all buildings, all statutory post-construction clearances, fire clearance certificate, complete list of civil Inventory, Final measurement book, all licenses and as-built drawings, testing of all services and equipment, handing over of all buildings, a set of completion drawings, Service plans and any other items as per NIT		1.00 %
Total			100.00%

Note:

1. Intermediate payments shall be made on "pro-rata basis." Amount shall be worked out on the basis of quantum of work done out of total scope of work under each activity / Item in the table above. The assessment made by Engineer-in-charge shall be final in this regard.

Through v/c
A/A

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JEP

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CORRECTION NIL INSERTION NIL
CUTTING NIL OVERWRITING NIL AE(P) EE(P)

Annexure-II

SCHEDULE OF STAGE PAYMENT

[Minor Component Horticulture]

All running / intermediate & final payments shall be made to the agency in accordance with the following schedule:

(Horticulture amount Rs. 8344684.00 = 100% of the quoted rates of Horticulture component)

S.No.		Breakup of % of Item Contract value	% of Item Contract value
1.0	Horticulture component will be paid after completion of development work of horticulture features in all respect	60%	60%
2.0	Remaining amount of horticulture work after completion of First year of the work of maintenance of Horticulture features	25% of balance amount i.e. 10% of contract value	10%
3.0	Remaining amount of horticulture work after completion of Second year of the work of maintenance of Horticulture features	25% of balance amount i.e. 10% of contract value	10%
4.0	After completion of Third year maintenance period of Horticulture as per terms and condition of agreement and as per CPWD specifications	50% of balance amount i.e. 20% of contract value	20%
	Total	100.00%	100.00%

Note:

1. Intermediate payments shall be made on "pro-rata basis." Amount shall be worked out on the basis of quantum of work done out of total scope of work under each activity / Item in the table above. The assessment made by Engineer-in-charge shall be final in this regard.

CORRECTION NIL

INSERTION NIL

CUTTING NIL

OVERRITING NIL

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SCHEDULE OF STAGE PAYMENT

[For making arrangement for providing space to the labour on rental basis and providing inspection vehicle and office staff]

All running / intermediate & final payments shall be made to the agency in accordance with the following schedule:

(Amount Rs 7723392.00 = 100 % of the quoted rates of space for labour, inspection vehicle and staff component)

S. No.		Breakup of % of Item Contract value	Cumulative % of Item Contract value
1.0	Providing minimum space (Land) of approximately 0.50 acre for accommodating approx. 300 nos labour on rental basis including transportation of labour from work site to the place of labour hutment (To and fro) (The payment shall be released after completion of the project and clearing of the labour hutment site complete.	50%	50%
2.0	Proving/Hiring 2 nos Inspection vehicle in good condition of model not more than 2 year old (swift desire, Tata Etios, AURA or equivalent) with driver and fuel and fuel and maintenance arrangement complete as per direction of engineer in charge.		30%
	i) The payment shall be made after 50% completion of project	15%	
	ii) The payment shall be made after 100% completion of project and handed over to the client department	15%	
3.0	Providing 1 no. computer operator and 2 nos. office assistant for maintaining the office rooms and records etc. complete as per direction of engineer in charge.		20%
	i) The payment shall be made after 50% completion of project	10%	
	ii) The payment shall be made after 100% completion of project and handed over to the client department	10%	
Total			100.00%

Note:

- The payment shall be made for the space of land after verifying the receipt landlord etc. to the satisfaction of Engineer in charge.
- The recovery shall be made for not attending office staff @ Rs. 1000/- per person per day etc. to the satisfaction of Engineer in charge.
- The recovery for inspection vehicle including driver and fuel shall be made for not attending duty in Normal office hours shall be @ Rs. 3000/- per vehicle per day and log book shall be maintained and dully signed by the competent authority etc. to the satisfaction of Engineer in charge.

CORRECTION NIL INSERTION NIL
CUTTING NIL OVERWRITING NIL

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Schedule of Stage Payments

Annexure-IV

ELECTRICAL COMPONENT

All running / intermediate & final payments shall be made to the agency in accordance with the following Schedules

(Electrical amount Rs. 37,44,02,406/- = 100% of quoted rates of Electrical component)

S. No.	Description	Cumulative % of Electrical competent	Individual %	Weighted Percentage
B	Completion of Building portion Complete in all respects as per scope of work			
	E & M services	100%		
1	Internal Electrical Installation	48.16%		
1.1	Supply of conduit, switch boxes with wiring accessories, FRLS copper wires, MCB type DBs with accessories		17.80	
	Supply of conduit			25
	Supply of wires			50
	Supply of DBs			10
	Supply of MCBs & RCBs			5
	Supply of switch boxes			7
	Supply of Switch Sockets			3
1.2	Fixing of conduit, DBs, Wiring, testing of installation		10.36	
	Installation of conduit			25
	Installation of wires			60
	Installation of DBs			3
	Installation of MCBs & RCBs			2
	Installation of switch boxes			7
	Installation of Switch Sockets			3
1.3	Supply of fans, lighting luminaries, LT panels and power cables		10.36	
	Supply of Fans			30
	Supply of lighting luminaries			30
	Supply of LT panels			8
	Supply of power cables			5
	Supply of Geyser			7
	Supply of Water purifier			5
	Supply of Chimney			5
	Supply of Video door phone			5
	Supply of chandelier			5

CORRECTION NIL INSERTION NIL
CUTTING NIL OVERWRITING NIL

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1.4	Installation, testing and commissioning of fan, lighting luminaries, cables LT panels etc		9.64	
	Installation of Fans			30
	Installation of lighting luminaries			30
	Installation of LT panels			7
	Installation of power cables			8
	Installation of Geyser			5
	Installation of Water purifier			5
	Installation of Chimney			5
	Installation of Video door phone			5
	Installation of chandelier			5
2	Fire Fighting System: Hydrant and sprinkler system	7.4%		
2.1	On supply of fire-fighting pipe, hydrants, valves, hose pipes, hose reel, FBC and accessories etc		3.45	
	Supply of fire-fighting pipe			70
	Supply of hydrants			7
	Supply of valves			5
	Supply of hose pipes			5
	Supply of hose reel, Sprinklers			5
	Supply of FBC and accessories			8
2.2	On supply of Fire pumps, control panels, cables etc.		2.76	
	Supply of Fire pumps			50
	Supply of control panels			40
	Supply of Cables			10
2.3	Installation, testing and commissioning of above equipments.		0.65	
2.4	Obtaining NOC from CFO and completion of all related work		0.54	
3	Fire Alarm System with PA system	4.60%		
3.1	On supply of equipments		3.40	
	Supply of Detectors			20
	Supply of Fire Alarm panel			30
	Supply of Hooters			25
	Supply of MCPs			10
	Supply of PA system			15

CORRECTION NIL INSERTION NIL AE
CUTTING NIL OVERWRITING NIL AE EE

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3.2	Installation, testing and commissioning of above equipments.		0.69	
3.3	Obtaining NOC from CFO and completion of all related work		0.51	
4	Lifts	9.90%		
4.1	On supply of equipments		3.95	
4.2	Installation, testing and commissioning of above equipments.		3.95	
4.3	Obtaining NOC from lift inspector and NOC from Local fire authority and completion of all related work		2	
5	Sub-station equipments	5.20%		
5.1	On supply of HT, LT and pole structure and its accessories		1.7	
	Supply of HT Panel			10
	Supply of LT Panel			70
	Supply of LT capacitor panels, DO Fuse, Pole structure, ME			20
5.2	On supply of transformer, bus trunking		1.7	
	Supply of Transformer			80
	Supply of bus trunking			20
5.3	On supply of HT and LT cables		1	
	Supply of HT Cable			30
	Supply of LT Cable			70
5.4	On installation, testing and commissioning of above equipments		0.4	
5.5	On receipt of NOC from Central Electricity Authority		0.4	
6	Diesel Generating sets	0.90%		
6.1	On supply of DG sets		0.3	
6.2	On supply of AMF panel		0.2	
6.3	On supply of cables		0.2	
6.4	On installation, testing and commissioning of above equipments		0.1	
6.5	On receipt of NOC from local body and pollution control board		0.1	
7	DOMESTIC AND FLUSHING WATER PUMP SETS	0.17%		
7.1	On supply of equipments		0.1	
7.2	On installation of above equipments		0.03	

CORRECTION NIL INSERTION NIL
CUTTING NIL OVERWRITING NIL

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7.3	On Testing and commissioning of above equipments		0.04	
8	Solar Photo Voltaic Power Generation System	1.38%		
8.1	On supply of all material		1.2	
8.2	On installation, testing and commissioning of above equipments		0.1	
8.3	On getting net meter facility from MPEB and handing over to client		0.08	
9	CCTV surveillance system	1.70%		
9.1	On supply of Cameras, Network switches, Network video recorder, Monitor, work station with licenses and soft ware		0.65	
9.2	On supply of OFC cable, cat -6 cable with their components		0.3	
9.3	On installation of above equipments		0.65	
9.4	On Testing and commissioning and handing over of above equipments		0.1	
10	IT NETWORKING & IP-PBX SYSTEM	0.48%		
10.1	On supply of intercom system i/c hardware, software, switches, cables, MDF Boxes, Fibre cable etc		0.27	
10.2	On Installation of intercom system, Telephone instruments etc.		0.2	
10.3	On Testing and commissioning of intercom system		0.01	
11	LAN System and FTTH	3.20%		
11.1	On supply of intercom system i/c hardware, software, switches, cables, MDF Boxes, Fibre cable etc		1.9	
11.2	On Installation of intercom system, Telephone instruments etc.		1.2	
11.3	On Testing and commissioning of intercom system		0.1	
12	GAS SUPPRESSION SYSTEM	1%		
12.1	On supply of Gas Suppression system		0.58	
12.2	On Installation of Gas Suppression system		0.34	

CORRECTION NIL INSERTION NIL
CUTTING NIL OVERWRITING NIL

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APR 16/17

12.3	On Testing and commissioning of Gas Suppression system		0.08	
13	EV CHARGING SYSTEM FOR VEHICLES	1.15%		
13.1	On supply of EV charging equipments		0.7	
13.2	On Installation of EV charging system		0.35	
13.3	On Testing and commissioning of EV charging system		0.1	
14	Exist sign board i/c electric signages	0.15%		
14.1	On supply of Signages		0.10	
14.2	On installation of above signages		0.03	
14.3	On Testing and commissioning of above signages		0.02	
15	Organic Waste Converter	0.25%		
15.1	On supply of E & M equipments, Machine different type bins etc.		0.10	
15.2	On supply of piping and accessories		0.07	
15.3	On installation of above equipments		0.06	
14.4	On testing and commissioning of above equipments		0.02	
16	MECHANICAL VENTILATION & PRESSURIZATION SYSTEM	0.70%		
16.1	On supply of E & M equipments e.g. motors, ducts etc.		0.27	
16.2	On supply of piping/ducting and accessories		0.24	
16.3	On installation of above equipments		0.13	
16.4	On Testing and commissioning of above equipments		0.06	
17	STP	1.30%		
17.1	On supply of E & M equipments, MS FRP tanks, panels, filtration units etc.		0.50	
17.2	On supply of Piping/Plumbing and accessories		0.50	
17.3	On installation of above equipments		0.24	
17.4	On Testing and commissioning of above equipments		0.06	

CORRECTION NIL INSERTION NIL
CUTTING NIL OVERWRITING NIL

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REC-8

18	SWIMMING POOL FILTRATION SYSTEM	5.70%		
18.1	On supply of E & M equipments, filtration system, pumps, dosing tanks, under water light, NICHE lights, Heat pump etc.		2.05	
18.2	On supply of Piping/Plumbing and accessories		0.70	
18.3	On installation of above equipments		2.05	
18.4	On Testing and commissioning of above equipments		0.9	
19	Street lighting	3.23%		
19.1	On supply of street lights, Bollards, Spike lights, poles, post of lantern and other LED lights		2.04	
19.2	On supply of LT cables for street lights and above		1.02	
19.3	On installation, testing and commissioning of above street lights, post of lantern and cables		0.17	
20	UPS	0.34%		
20.1	On supply of UPS		0.13	
20.2	On supply of Batteries		0.10	
20.3	On installation, testing and commissioning of UPS & batteries with control panel, earthing etc.		0.11	
21	Boom Barrier	0.06%		
21.1	On supply of Boom Barrier equipments		0.03	
21.2	On installation of Boom Barrier		0.02	
21.3	On Testing and commissioning of Boom Barrier		0.01	
22	BMS	2.86%		
22.1	On supply of BMS		1.7	
22.2	On installation of BMS system		1	
22.3	On Testing and commissioning of BMS system		0.16	
23	Site Monitoring Camera	0.17%		
23.1	On supply of Cameras, Network switches, Network video recorder, Monitor, soft ware, CAT 6 cable, OFC, Racks etc.		0.10	

CORRECTION NIL INSERTION NIL
CUTTING NIL OVERWRITING NIL

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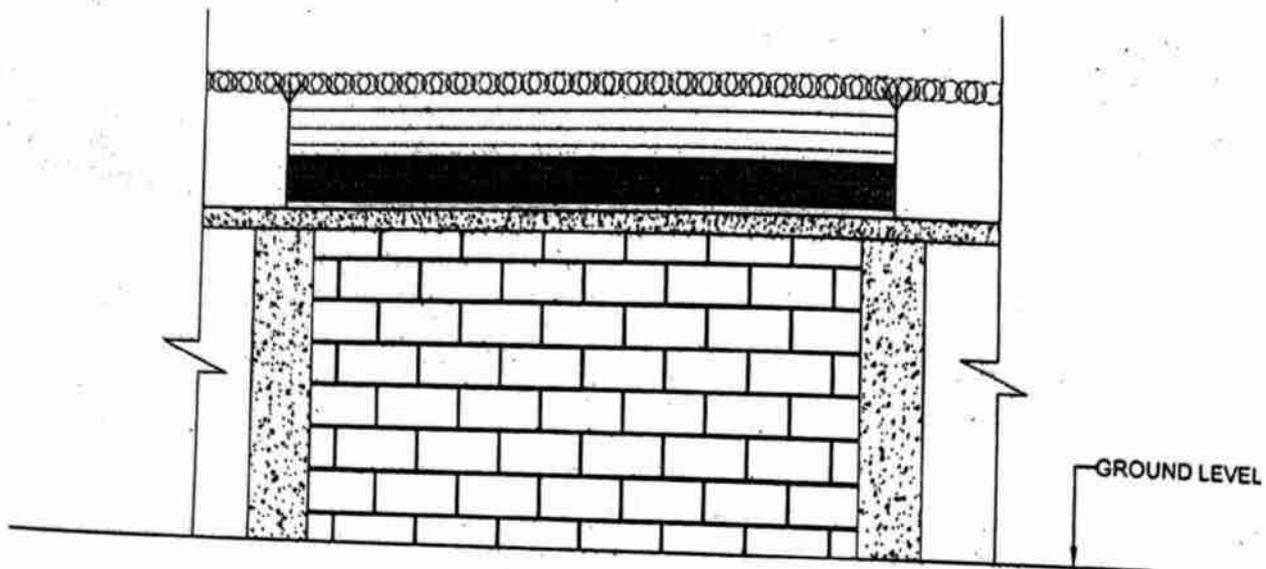
ABRMP

23.2	On installation of above equipment along with cabling		0.05	
23.3	On Testing and commissioning of the system		0.02	
	TOTAL	100%		

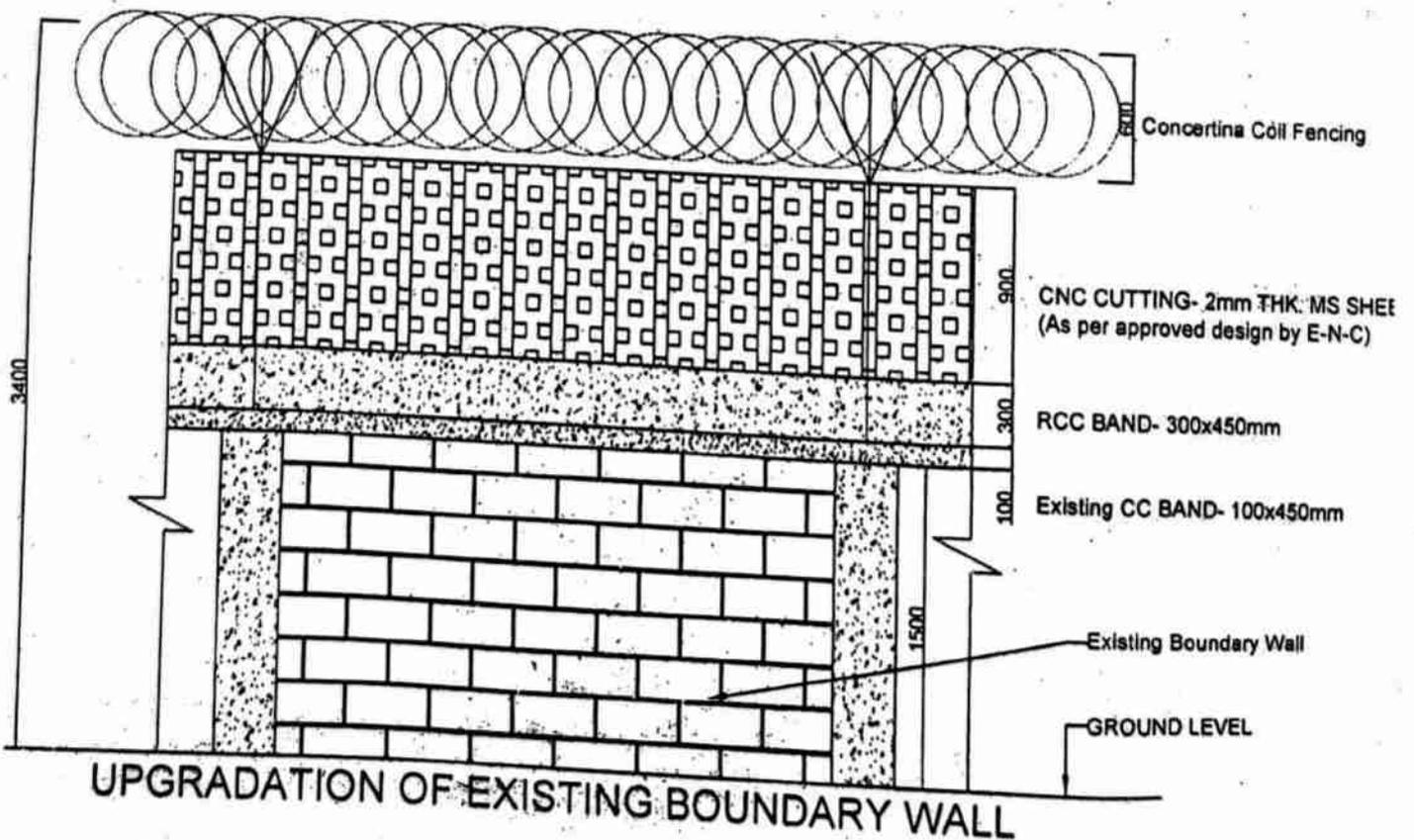
CORRECTION NIL INSERTION NIL
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EXISTING BOUNDARY WALL



UPGRADATION OF EXISTING BOUNDARY WALL

- Note: 1. 300x450 mm, M-30 R.C.C. Band.
 2. Raising Height of Concertina Coil by extending existing angle iron.
 3. Providing & fixing 2mm Thick CNC cutting MS sheet as per specification.
 4. Removing of Barbed wire and PVC sheet below concertina level.

Handwritten signature
 H25



Structure Consultants

HENROCK STRUCTURE ASSOCIATES

Ref No.: HSA/RBI/2025/655

Date: 25/12/2025

To,
The Chief Engineer
CPWD, Bhopal

Subject: Confirmation of Slab Concrete Grade and Thickness – Project "Additional Staff/Officers Quarters of RBI at Char Imli, Bhopal"

Respected Sir,

As per the discussions held during the meeting and the instructions provided by CPWD, this is to confirm that the slab concrete grade shall be M30 and the slab thickness shall be 150 mm for all buildings under the project: Additional Staff / Officers Quarters of RBI at Char Imli, Bhopal.

Further, it is clarified that in the swimming pool drawings, the concrete grade has been mentioned as M25, which is a drafting mistake. The correct concrete grade for the swimming pool shall also be M30, in line with the CPWD instructions and project requirements.

Kindly treat this letter as formal confirmation of the above and proceed accordingly.

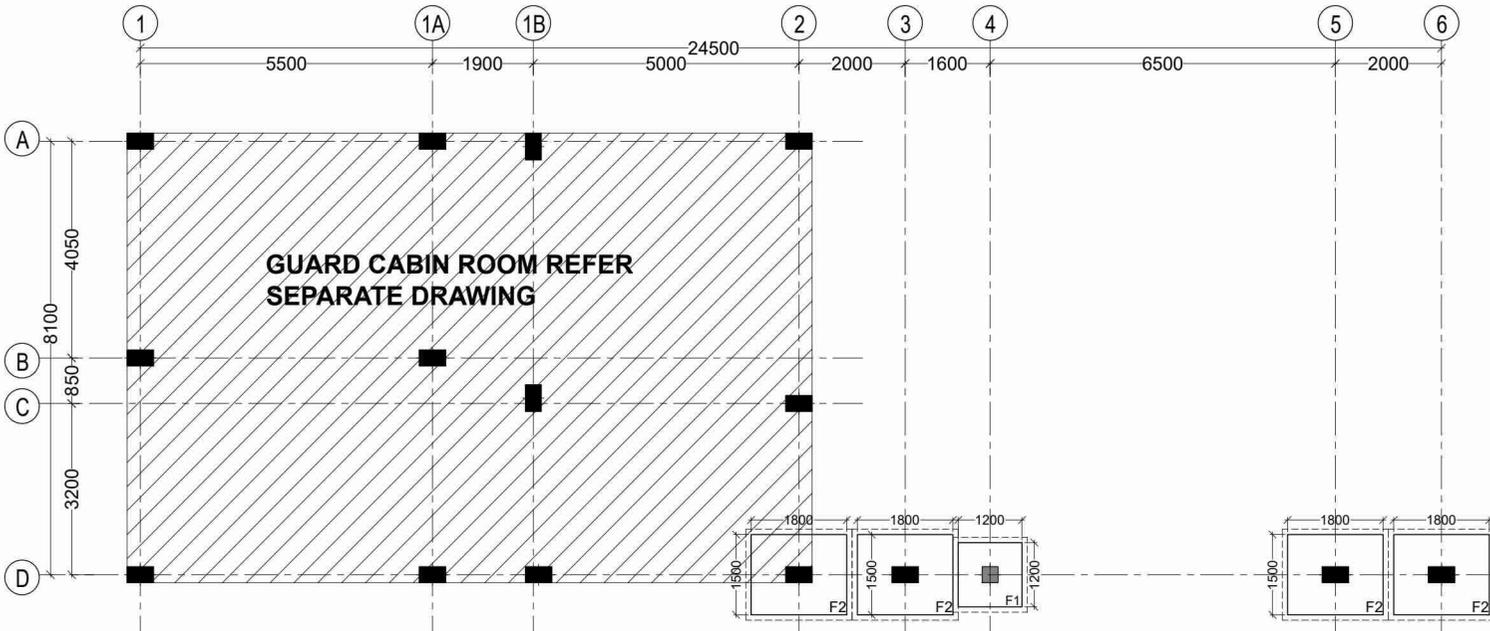
Thanking you,

Yours faithfully,

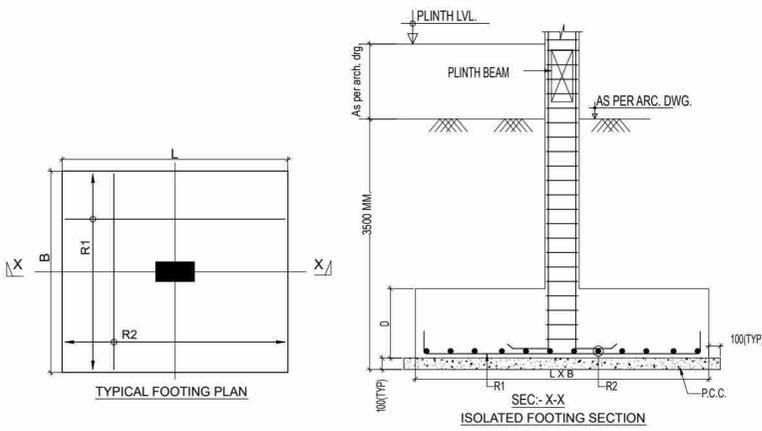


For Henrock Structure Associates

Noida Office- 1005 Advant Tower Sector-142 Noida-201305 (UP)
Indore Office – 112, First Floor, Swadesh Bhawan Near DainikBhaskar Press L.I.G. Square Indore (M.P.)
Mail- Ha247@haconsultants.in , Contact No. +91-9810899325, +91-97133 42328



FOOTING LAYOUT PLAN
(SCALE 1:100)

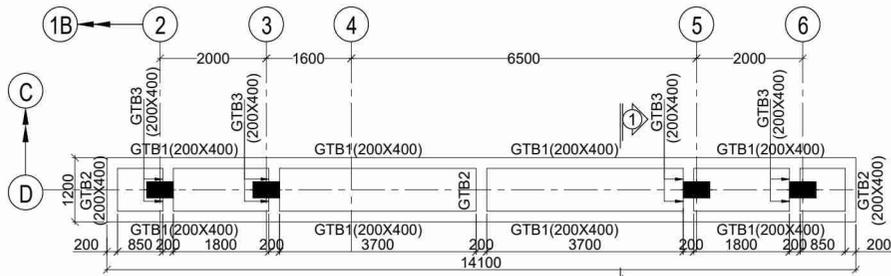


ISOLATED FOOTING SCHEDULES

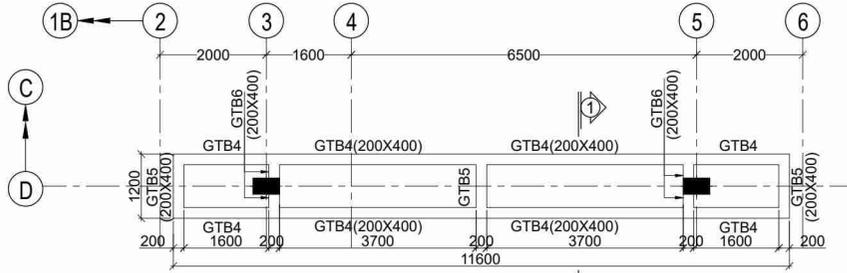
FOOTING MARK	SIZE			REINFORCEMENT AT BOTTOM LVL.		REFER SECTION
	B	L	D	ALONG THE LENGTH (R1)	ALONG THE WIDTH (R2)	
F1	900	900	300	10@150c/c	10@150c/c	X-X
F2	1500	1800	400	10@100c/c	10@100c/c	X-X

- REVISION**
- | Rev. NO | Date | Detail | By |
|---------|------|--------|----|
| | | | |
- PROJECT:-**
ADDITIONAL STAFF / OFFICERS QUARTERS OF RBI AT CHAR IMILI, BHOPAL
- BUILDING:-** MAIN GATE
- SHEET TITLE**
FOOTING LAYOUT PLAN & DETAILS
- CLIENT**
RESERVE BANK OF INDIA, BHOPAL
- IMPLEMENTING AGENCY**
C.P.W.D. BCD-1, NIRMAN SADAN, AREA HILLS, BHOPAL (M.P.)-462011
- ARCHITECT**
VASTUNIDHI ARCHITECTURE | MASTER PLANNING | URBAN DESIGNING
135, BLOCK - B, SECTOR - 44, NOIDA - 201 301
P | +91 9818 477 259
E | vastunidhi@vastunidhi.com
- STRUCTURE CONSULTANT**
HA STRUCTURE CONSULTANT
- Indore office -
112, First Floor Swadesh Bhawan
Near Dainik Bhaskar Press Indore (M.P.)
Noida office -
104-C (U.G.) Tower A Advant Business
Park Sector 162 Noida (U.P.)
Email - Ha247@haconsultants.in
- MEP CONSULTANT**
- SHEET NO**
HA/2025/RBI/MG/FN/02
- | DATE | 27.12.2025 | CHECKED BY | S.K. | SHEET 1 OF 1 |
|--------|-------------|--------------|---------|--------------|
| SCALE | 1:100 | DRAWN BY | RASHIDA | STR-02 |
| STATUS | PRELIMINARY | FOR APPROVAL | GFC | REVISION R-0 |
- AUTHORITY**
- APPROVED BY**

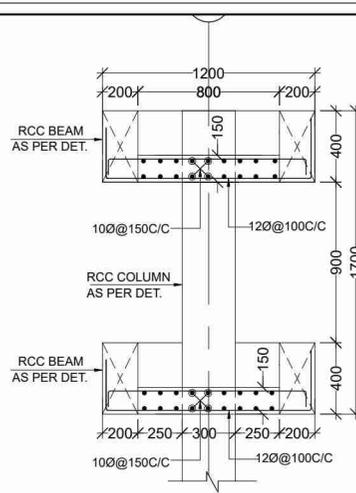




GATE BEAM FRAMING PLAN
(SCALE 1:100)



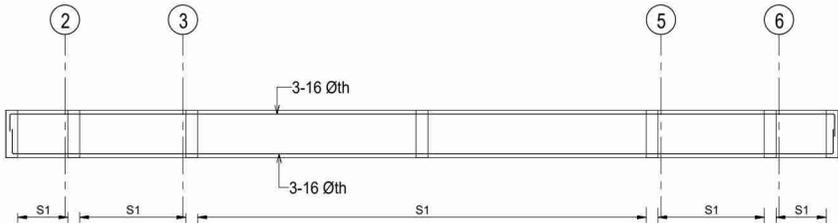
GATE TOP BEAM FRAMING PLAN
(SCALE 1:100)



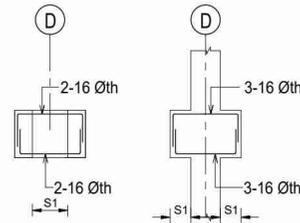
SECTION 1-1
TYPICAL SLAB DETAIL AT TOP LEVEL

STIRRUPS SCHEDULE

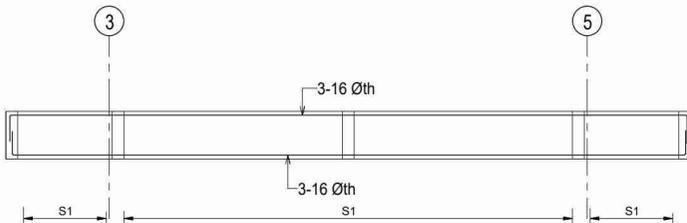
S1	2L-8Ø @100C/C
S2	2L-8Ø @125C/C
S3	2L-8Ø @150C/C



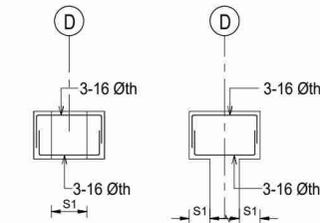
GTB1(200X400)



GTB2(200X400) GTB3(200X400)



GTB4(200X400)



GTB5(200X400) GTB6(200X400)

REVISION

1. ALL DIMENSIONS ARE IN MM UNLESS NOTED OTHERWISE.
2. DO NOT SCALE THE DRAWING. ONLY WRITTEN DIMENSIONS ARE TO BE FOLLOWED.
3. ALL DIMENSIONS SHALL BE CHECKED AND CORRELATED WITH THE ARCHITECTURAL DRAWINGS AND ANY AMBIGUITY SHALL BE IMMEDIATELY BROUGHT TO THE NOTICE OF THE CONSULTANT IN WRITTEN BEFORE COMMENCEMENT OF THE WORK.
4. PLAIN CEMENT CONCRETE BELOW FOOTINGS SHALL BE 100mm THK (M10).
5. ALL REINFORCEMENT BARS SHALL BE HIGH YIELD STRENGTH DEFORMED BARS OF GRADE Fe-500 CONFORMING TO IS:2008.
6. DEVELOPMENT LENGTH OF BAR: L_d = 50Ø.
7. LAPPING OF BARS SHALL BE STAGGERED AT ANY CROSS SECTION NOT MORE THAN 50% OF THE BARS SHALL BE LAPPED.
8. TOP REINFORCEMENT OF BEAM SHOULD NOT BE LAPPED AT SUPPORT AND BOTTOM REINFORCEMENT SHOULD NOT BE LAPPED AT MID SPAN.
9. OVERLAP OF BARS IS NOT PERMITTED IN HANGERS.
10. STIRRUPS FOR CANTILEVER BEAMS TO HAVE HOOKS AT BOTTOM.
11. COLUMN HEADERS SHALL BE BENT AT CHANGE OF SECTION WITH SLOPE OF 1:6 (AS AND WHERE REQUIRED REFER TYPICAL LAPPING DETAIL).
12. THE STRENGTH & STRUCTURAL STABILITY STURDILY OF SCAFFOLDING, CENTERING & SHUTTLING MATERIAL LIFTS SHALL BE ENSURED BY THE CONTRACTOR AND SHALL BE THE RESPONSIBILITY OF CONTRACTOR.
13. FOUNDATION & FRAMED STRUCTURE IS DESIGNED FOR THE LOADING OF AAC BLOCKS AS PER SECTION WALL.
14. BUILDING FRAME DESIGNED FOR EARTHQUAKE ZONE-III.
15. BUILDING FRAME AND FOUNDATION DESIGNED FOR M.S.B.
16. ANY DEVIATION FROM STRUCTURAL DRAWINGS SHALL NOT BE ALLOWED WITHOUT WRITTEN PERMISSION OF ARCHITECT.
17. RF DETAILS AS PER IS:13920:2014 NORMANSHIP SHALL BE DONE AS IS:46:2000.
18. AS PER THE SOIL REPORT CONSIDERING N.B.C. OF SOIL IS 22.5T/M³ AT 3.5M DEPTH FROM N.G.L.
19. MINIMUM CLEAR COVER TO REINFORCEMENT:
 - FOOTING = 50 MM (TOP & BOTTOM)
 - COLUMN = 40 MM ALL AROUND
 - BEAM = 30 MM ALL AROUND
 - SLAB = 15 MM BOTTOM & 25 MM EDGE
 - SHEAR WALL = 40 MM ALL AROUND

REVISION

Rev. NO	Date	Detail	By

PROJECT:-

ADDITIONAL STAFF/ OFFICERS QUARTERS OF RBI AT CHARIMIL, BHOPAL

BUILDING:- MAIN GATE

SHEET TITLE
GATE TOP BEAM FRAMING PLAN & SECTIONS OR BEAM DETAILS

CLIENT
RESERVE BANK OF INDIA, BHOPAL

IMPLEMENTING AGENCY
C.P.W.D. BCD-1, NIRMAN SADAN, AREA HILLS, BHOPAL (M.P.)-462011

ARCHITECT
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135, BLOCK - B, SECTOR - 44, NOIDA - 201 301
P | +91 9818 477 259
E | vastunidhi@vastunidhi.com

STRUCTURE CONSULTANT
HA STRUCTURE CONSULTANT

Indore office -
112, First Floor Swadesh Bhawan
Near Dainik Bhaskar Press Indore (M.P.)
Noida office -
104-C (U.G.) Tower A, Advant Business
Park Sector 162 Noida (U.P.)
Email - Ha247@haconsultants.in



MEP CONSULTANT

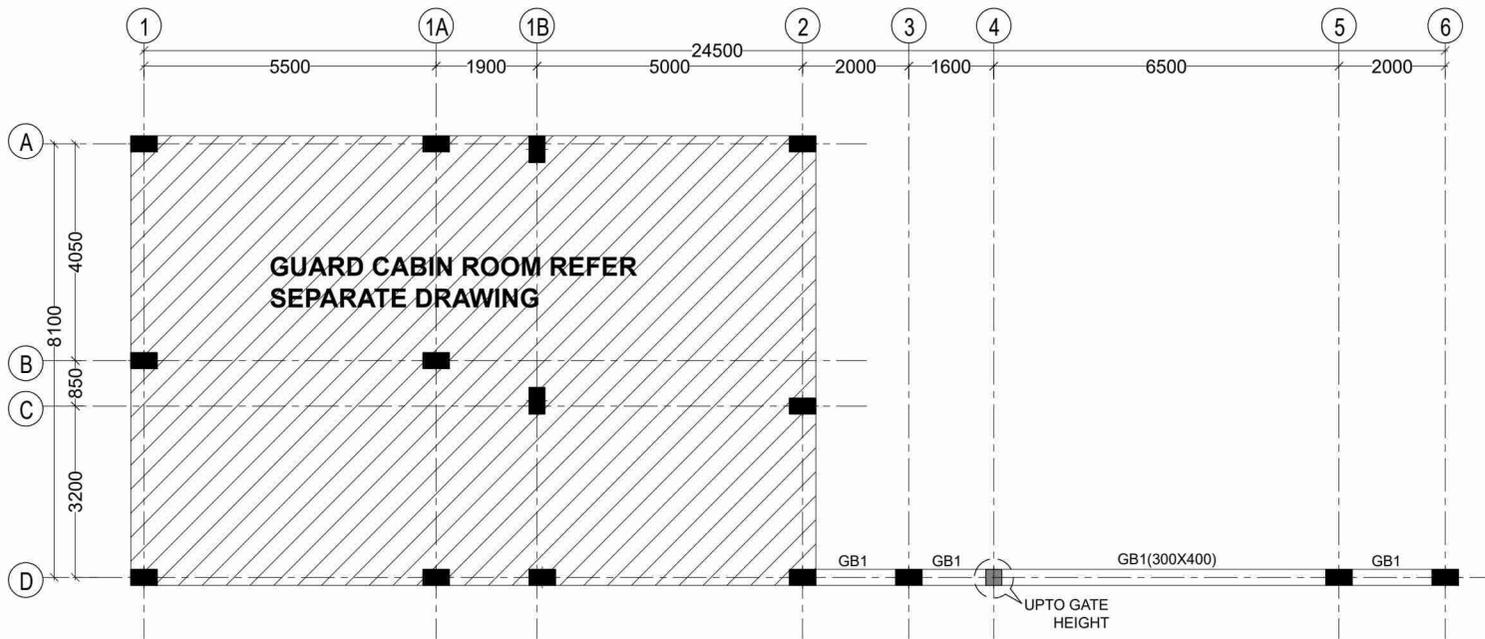
SHEET NO HA/2025/RBI/MG/GTB/04

DATE	27.12.2025	CHECKED BY	S.K.	SHEET 1 OF 1
SCALE	1:100	DRAWN BY	RASHIDA	STR-04
STATUS	PRELIMINARY	FOR APPROVAL	GFC	REVISION R-0

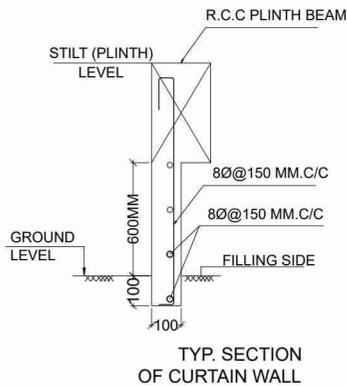
AUTHORITY

APPROVED BY

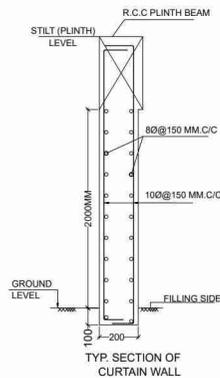




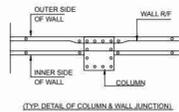
GROUND FLOOR BEAM FRAMING PLAN
(SCALE 1:100)



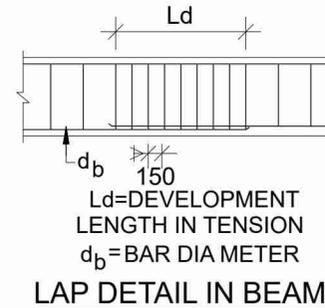
TYP. SECTION OF CURTAIN WALL



NOTE: CURTAIN WALL HORIZONTAL REINFORCEMENT SHALL BE PASSED THROUGH COLUMN.
(FOR COLUMN SPACING UP TO 3.6 C/C)

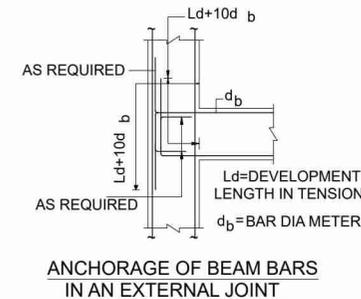
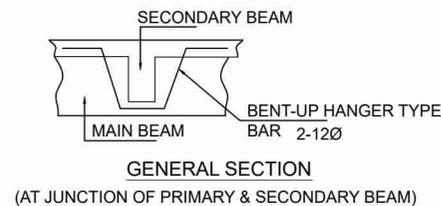
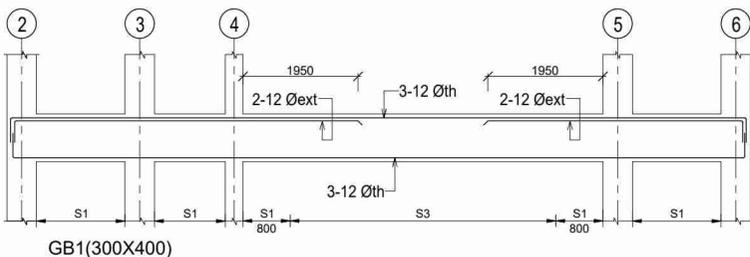


TYP. DETAIL OF COLUMN & WALL JOINT



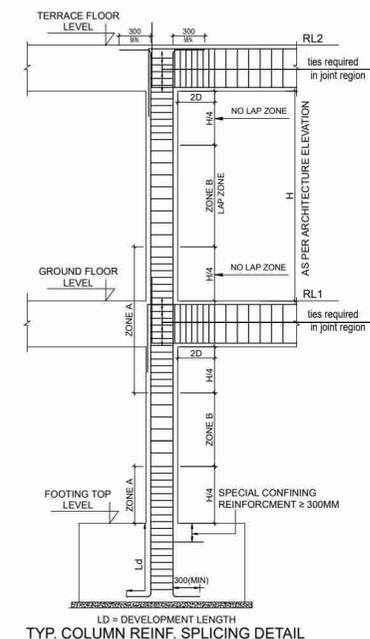
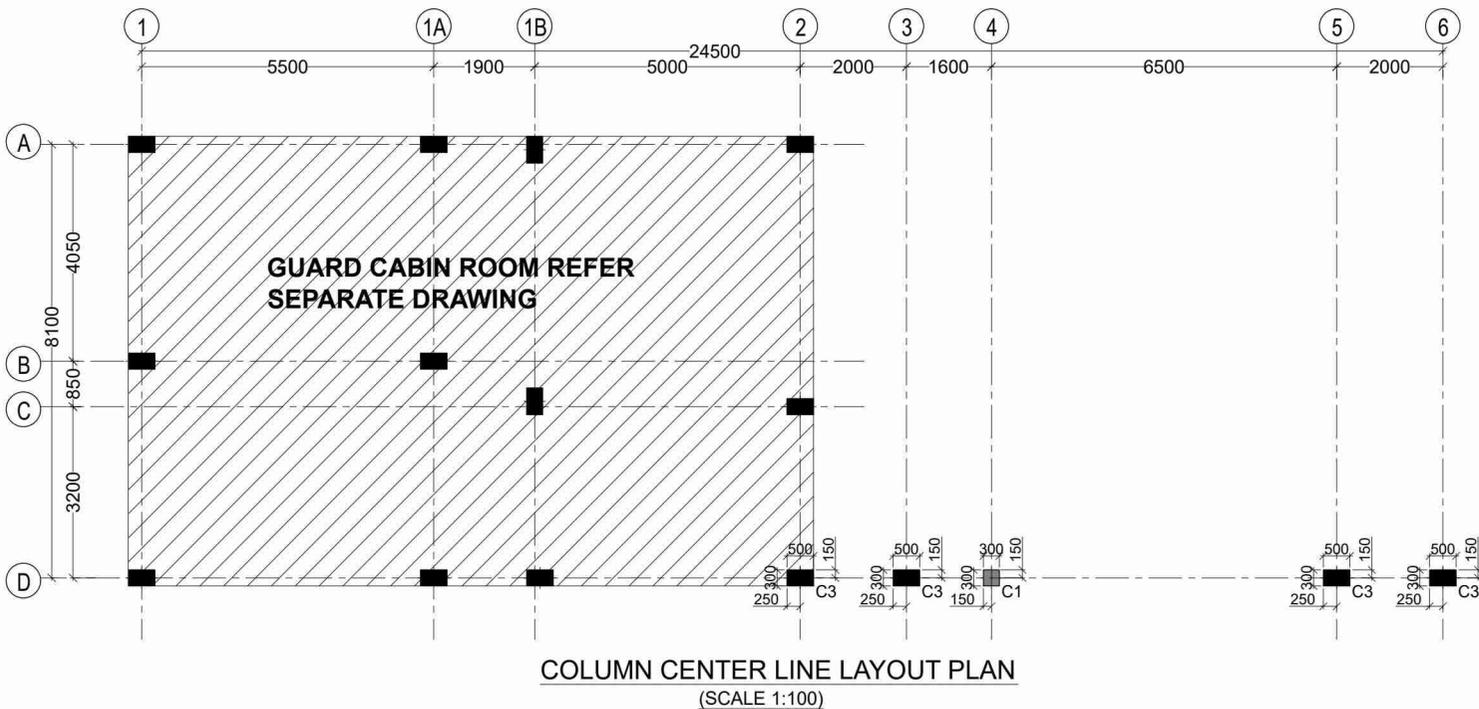
L_d = DEVELOPMENT LENGTH IN TENSION
 d_b = BAR DIA METER

STIRRUPS SCHEDULE	
S1	2L-8Ø @ 100C/C
S2	2L-8Ø @ 125C/C
S3	2L-8Ø @ 150C/C



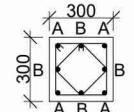
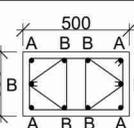
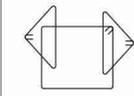
- REVISION
- | Rev. No | Date | Detail | By |
|---------|------|--------|----|
| | | | |
- PROJECT:-
ADDITIONAL STAFF/ OFFICERS QUARTERS OF RBI AT CHAR INML, BHOPAL
- BUILDING:- MAIN GATE
- SHEET TITLE
GROUND(PLINTH) BEAM FRAMING PLAN & SECTIONS OR BEAM DETAILS
- CLIENT
RESERVE BANK OF INDIA, BHOPAL
- IMPLEMENTING AGENCY
C.P.W.D. BCD-1, NIRMAN SADAN, AREA HILLS, BHOPAL (M.P.)-462011
- ARCHITECT
VASTUNIDHI ARCHITECTURE | MASTER PLANNING | URBAN DESIGNING
135, BLOCK - B, SECTOR - 44, NOIDA - 201 301
P | +91 9818 477 259
E | vastunidhi@vastunidhi.com
- STRUCTURE CONSULTANT
HA STRUCTURE CONSULTANT
- Indore office -
112, First Floor Swadesh Bhawan
Near Dainik Bhaskar Press Indore (M.P.)
Noida office -
104-C (U.G.) Tower A Advant Business
Park Sector 162 Noida (U.P.)
Email - Ha247@haconsultants.in
- MEP CONSULTANT
- SHEET NO
HA/2025/RBI/MG/GB/03
- | DATE | 27.12.2025 | CHECKED BY | S.K. | SHEET 1 OF 1 |
|--------|-------------|--------------|---------|--------------|
| SCALE | 1:100 | DRAWN BY | RASHIDA | STR-03 |
| STATUS | PRELIMINARY | FOR APPROVAL | GFC | REVISION R-0 |
- AUTHORITY
- APPROVED BY

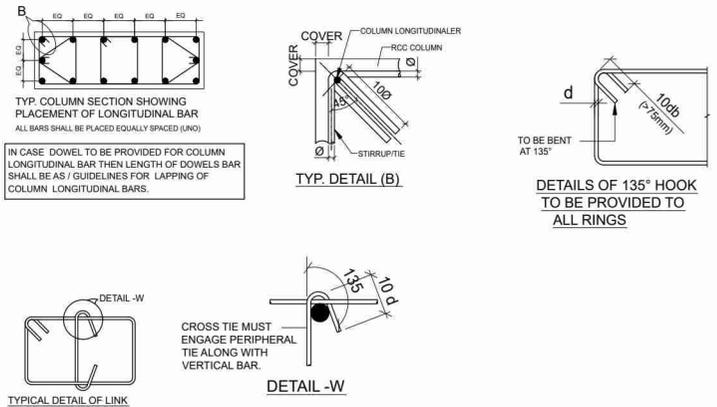




- REVISION**
- | Rev. No. | Date | Detail | By |
|----------|------|--------|----|
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- PROJECT:-**
ADDITIONAL STAFF / OFFICERS QUARTERS OF RBI AT CHARIMIL BHOPAL
- BUILDING:-** MAIN GATE
- SHEET TITLE**
COLUMN LAYOUT PLAN & R/F SCHEDULE
- CLIENT**
RESERVE BANK OF INDIA, BHOPAL
- IMPLEMENTING AGENCY**
C.P.W.D. BCD-1, NIRMAN SADAN, AREA HILLS, BHOPAL (M.P.)-462011
- ARCHITECT**
VASTUNIDHI ARCHITECTURE | MASTER PLANNING | URBAN DESIGNING
135, BLOCK - B, SECTOR - 44, NOIDA - 201 301
P | +91 9818 477 259
E | vastunidhi@vastunidhi.com
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Email - Ha247@haconsultants.in
- MEP CONSULTANT**
- SHEET NO**
HA/2025/RBI/MG/CL/01
- | DATE | 27.12.2025 | CHECKED BY | S.K. | SHEET 1 OF 1 |
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| SCALE | 1:100 | DRAWN BY | RASHIDA | STR-01 |
| STATUS | PRELIMINARY | FOR APPROVAL | GFC | REVISION R-0 |
- AUTHORITY**
- APPROVED BY**

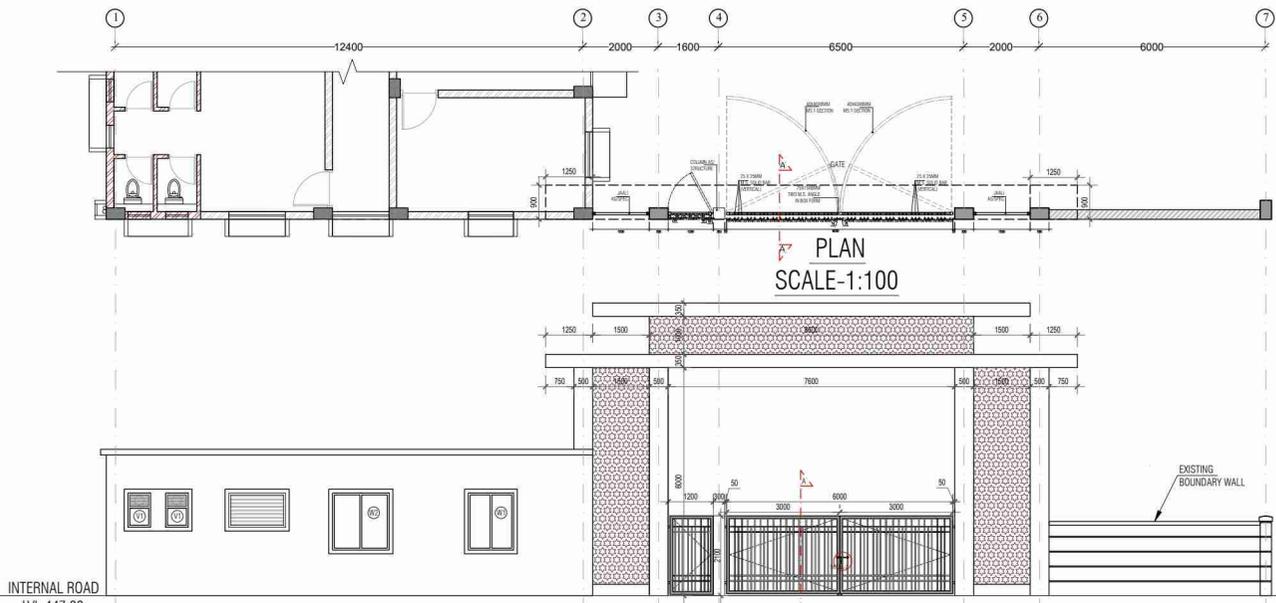
COLUMN & SHEAR WALL SCHEDULE

LEVEL	COLUMN/SHEAR WALL SIZE	FOUNDATION TO GATE TOP LVL.	TIES
SHEAR WALL MARK	MIX	M-30	
C1		S (TIES) A = 4-12 Ø B = 4-12 Ø	
C2			
C3		S (TIES) A = 4-16 Ø B = 6-16 Ø	



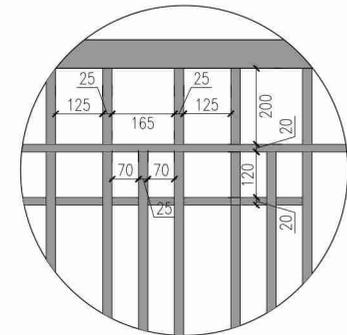
TIES	ZONEA	8Ø@100c/c	OUTER TIES
S		+8Ø@100c/c	INNER TIES
	ZONEB	8Ø@150c/c	OUTER TIES
		+8Ø@150c/c	INNER TIES



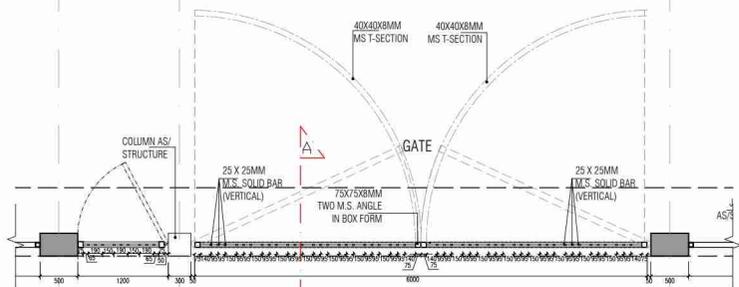


PLAN
SCALE-1:100

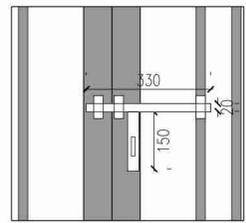
ELEVATION
SCALE-1:100



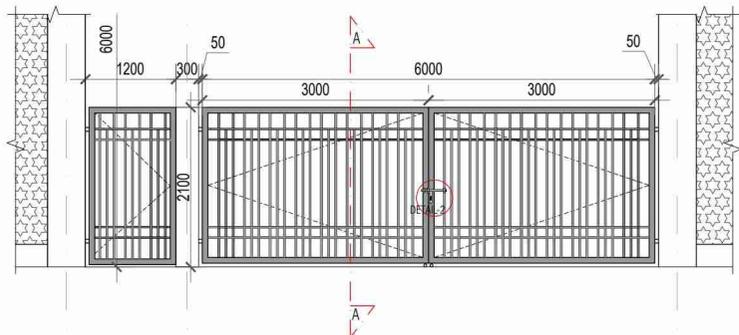
TYPICAL GRILL DETAIL
SCALE-1:10



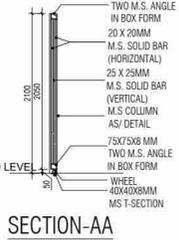
MAIN GATE PLAN



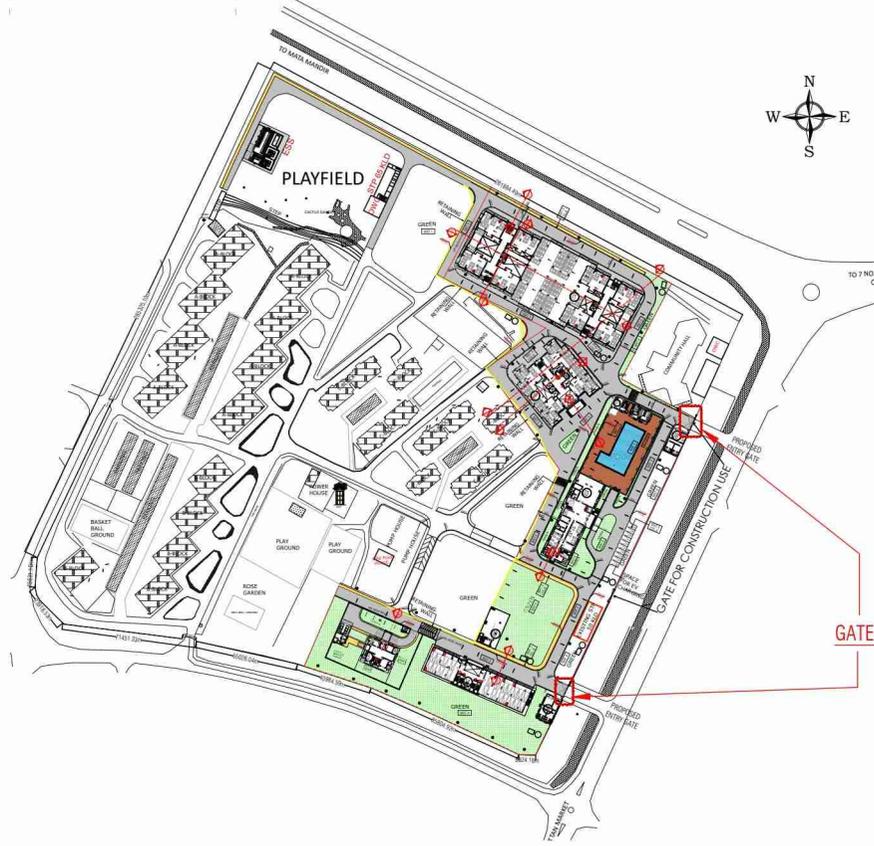
LOCKING DETAIL
DETAIL-2
SCALE-1:10



MAIN GATE ELEVATION



SECTION-AA



SITE PLAN

Key Plan -

- NOTES :-**
1. ALL DIMENSIONS ARE IN MM UNLESS MENTIONED OTHERWISE.
 2. ALL DIMENSIONS ARE TO BE READ ONLY AND NOT TO BE MEASURED/ SCALED.
 3. THE DRAWING SHOULD BE READ IN CONJUNCTION WITH ALL RELEVANT STRUCTURAL, ARCHITECTURAL, SERVICES AND LANDSCAPE DRAWINGS.
 4. ANY DISCREPANCIES IN THE DRAWINGS OR AT SITE SHOULD BE BROUGHT TO THE NOTICE OF THE ARCHITECT IMMEDIATELY.
 5. FINISHES/ MATERIALS SHOWN ARE INDICATIVE ONLY. PLEASE REFER RESPECTIVE DETAIL DRAWINGS & SCHEDULES.
 6. ARCHITECTURAL DRAWINGS TO BE FOLLOWED FOR THE LOCATION OF ALL STRUCTURAL MEMBERS & MASONRY WALL FOR SIZE AND REINFORCEMENT DETAILS OF STRUCTURAL MEMBERS RELEVANT STRUCTURAL DWGS. TO BE REFERRED.
 7. FOR DETAILS REFER RELEVANT ARCHITECTURAL DETAIL DRAWINGS AS INDICATED.
 8. FOR ALL THE DETAILS REGARDING THE GRADING/ OPENINGS, DETAILED PACKAGE DWGS TO BE FOLLOWED.
 9. FOR SILL JAMBS & PANELS FOLLOW DETAILED DWGS.

Owner
RESERVE BANK OF INDIA,
BHOPAL

Implementing Agency
C.P.W.D.
BCD-1,
NIRMAN SADAN, AREA HILLS,
BHOPAL (M.P.)-462011

Architect
VASTUNIDHI
135 Block B | Sector-44
Noida 201301 | Uttar Pradesh | India
Ph: +91-9999 130 569
email : Vastunidhi@vastunidhi.com

Structure Consultant
HENROCK ASSOCIATES
Unit No.732, 7th Floor, Tower B,
Ithum Sector-62 Noida (U.P.)

MEP Consultant
V CONSULTING
B - 50, Basement, Saomi Nagar
New Delhi 110017, INDIA
P | 011 49848197 E | info@vcconsulting.co.in

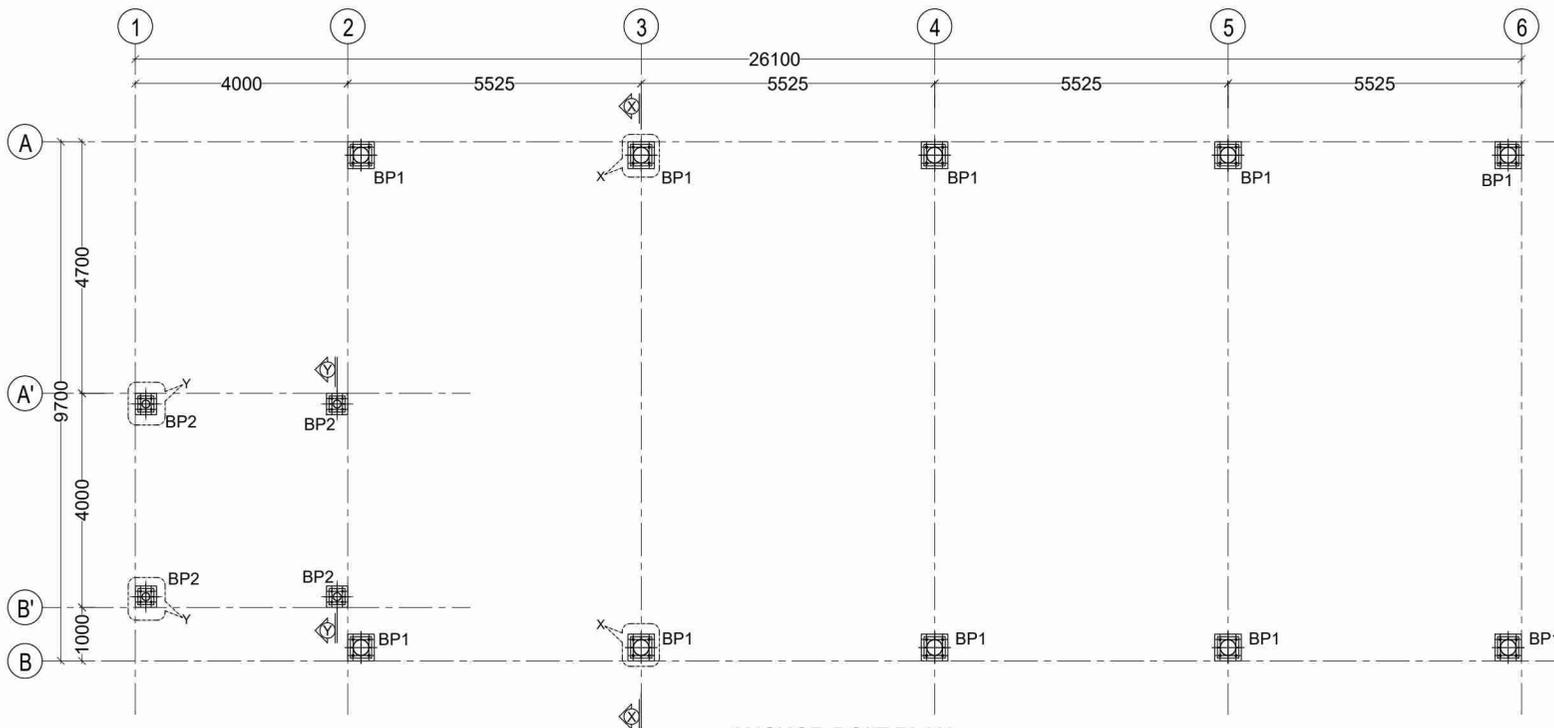
Project
ADDITIONAL STAFF/ OFFICER'S
QUARTER OF RBI AT CHAR IMLI,
BHOPAL



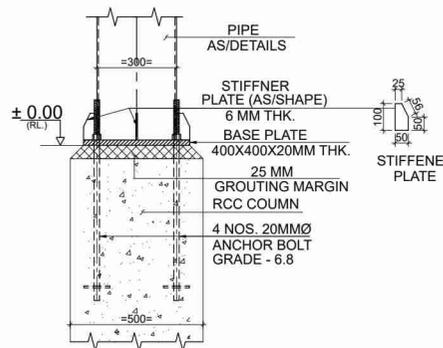
Drawing Title
MAIN GATE DETAIL

Drawing No.
RBI-BHO-AR-GATE-100

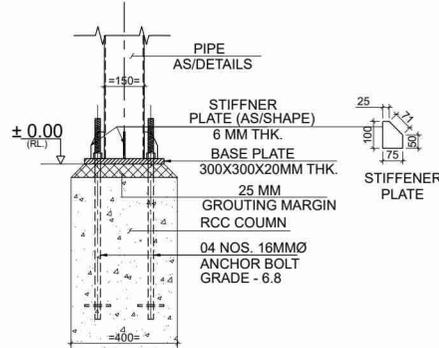
Scale 1:50	Status TENDER DRAWING
Date 29/12/2025	Drawn S.J.
	Checked L.G.
	Sheet size 594 X 420



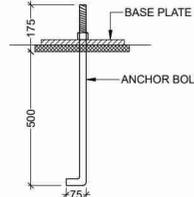
ANCHOR BOLT PLAN
BASE PLATE BOTTOM LEVEL AT ±0.00



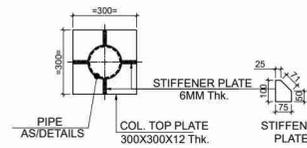
SECTION 1-1



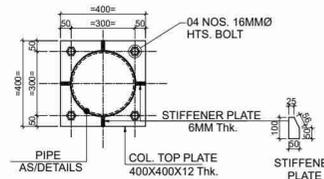
SECTION 2-2



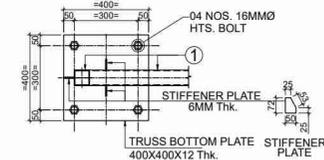
BOLT DETAIL



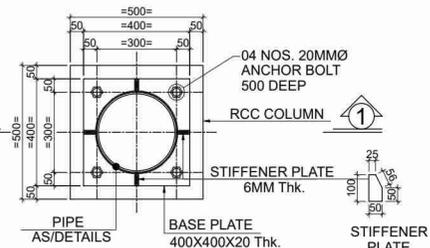
TYPICAL DETAIL OF COLUMN TOP PLATE (300X300X12 Thk.)



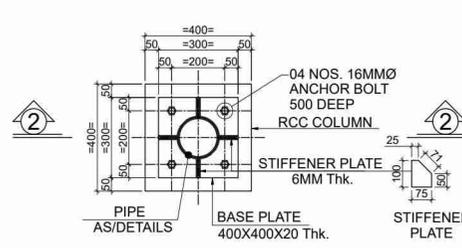
TYPICAL DETAIL OF COLUMN TOP PLATE (400X400X12 Thk.)



TYPICAL DETAIL OF TRUSS BOTTOM PLATE (400X400X12 Thk.)



DETAIL - X
BASE PLATE PLAN - BP1

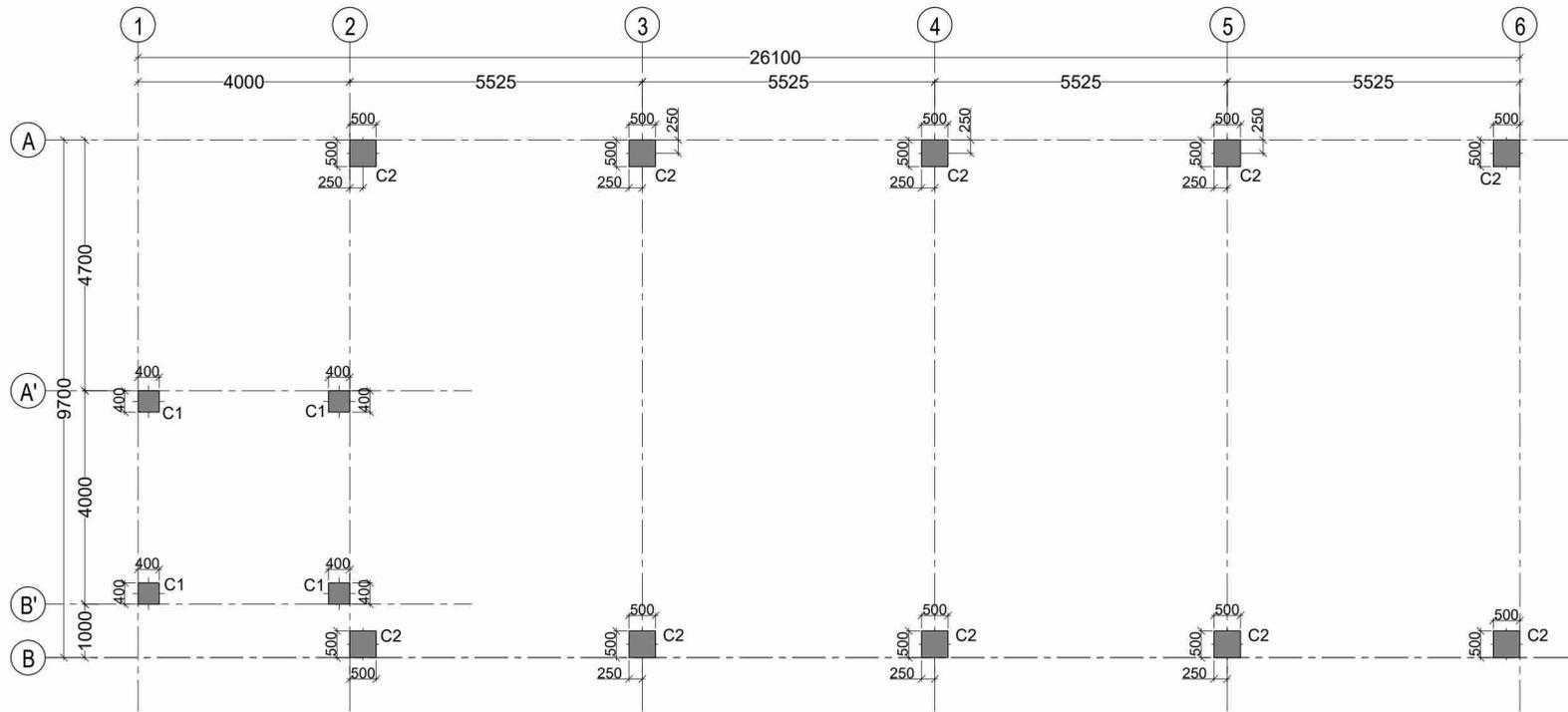


DETAIL - Y
BASE PLATE PLAN - BP2



- REVISION**
- | Rev. No | Date | Detail | By |
|---------|------|--------|----|
| | | | |
- PROJECT:-**
ADDITIONAL STAFF/ OFFICERS QUARTERS OF RBI AT CHAR IMLI, BHOPAL.
- BUILDING:-** STP AND ORGANIC WASTE COMPOSTER
- SHEET TITLE**
ANCHOR BOLT PLAN & DETAILS
- CLIENT**
RESERVE BANK OF INDIA, BHOPAL
- IMPLEMENTING AGENCY**
C.P.W.D. BCD-1, NIRMAN SADAN, AREA HILLS, BHOPAL (M.P.)-462011
- ARCHITECT**
VASTUNDIHI ARCHITECTURE | MASTER PLANNING | URBAN DESIGNING
135, BLOCK - B, SECTOR - 44, NOIDA - 201 301
P | +91 9818 477 259
E | vastundihi@vastundihi.com
- STRUCTURE CONSULTANT**
HA STRUCTURE CONSULTANT
- Indore office -**
112, First Floor Swadesh Bhawan
Near Dainik Bhaskar Press Indore (M.P.)
Noida office -
104-C (U.G.) Tower A Advant Business
Park Sector 162 Noida (U.P.)
Email - Ha247@haconsultants.in
- MEP CONSULTANT**
- SHEET NO**
HA/2025/RBI/STP/OWC/TRUSS/04
- | DATE | 27-12-2025 | CHECKED BY | S.K | SHEET 1 OF 4 |
|--------|-------------|--------------|---------|--------------|
| SCALE | 1:100 | DRAWN BY | RASHIDA | STR-04 |
| STATUS | PRELIMINARY | FOR APPROVAL | GFC | REVISION R/0 |
- AUTHORITY**
- APPROVED BY**

- NOTE:-**
- GRADE OF STEEL:- a) FOR MS PIPES Fy310
 - SIZE OF WELD ATLEAST 6mm IN ALL JOINTS UNLESS OTHERWISE NOTED.
 - ALL CONNECTING PLATES SHOULD BE WELDED TO MEMBERS BEFORE ERECTION OF RAFTER.
 - ALL SURFACES WHICH ARE TO BE PAINTED WITH RED OXIDE SHALL BE DRY AND THOROUGHLY CLEANED TO REMOVE ALL LOOSE SCALE AND LOOSE RUST.
 - THE SUITABILITY AND CAPACITY OF ALL PLANTS AND EQUIPMENTS USED FOR ERECTION SHALL BE TO THE SATISFACTION OF THE SITE ENGINEER. HOWEVER THE CONTRACTOR IS FULLY RESPONSIBLE FOR THE SUITABILITY AND CAPACITY OF ERECTION EQUIPMENTS.
 - THE POSITIONING AND LEVELLING OF ALL STEEL WORK SHALL BE IN ACCORDANCE WITH THE DRAWING.
 - ADEQUATE SAFETY PRECAUTION SHALL BE TAKEN DURING ERECTION OPERATIONS AS PER IS 7205-1973.
 - DURING ERECTION THE STEEL WORK SHALL BE TEMPORARILY BRACED TO AVOID THE TWISTING OF FRAME AND TO MAKE THE ERECTED FRAME STABLE UNTIL FINAL BRACING IS COMPLETED AS PER DRAWING.
 - ALL BOLTS SHALL BE OF CLASS 8.8 HTS. BOLT WITH MIN. TENSILE STRENGTH OF 800N/mm² AS PER IS1367-III.



COLUMN CENTER LINE LAYOUT PLAN
(SCALE 1:100)

- REVISION NOTES**
1. ALL DIMENSIONS ARE IN MM UNLESS NOTED OTHERWISE.
 2. DO NOT SCALE THE DRAWING, ONLY WRITTEN DIMENSIONS ARE TO BE FOLLOWED.
 3. ALL DIMENSIONS SHALL BE CHECKED AND CORRELATED WITH THE ARCHITECTURAL DRAWINGS AND ANY AMBIGUITY SHALL BE IMMEDIATELY BROUGHT TO THE NOTICE OF THE CONSULTANT IN WRITTEN BEFORE COMMENCEMENT OF THE WORK.
 4. PLAIN CEMENT CONCRETE BELOW FOOTINGS SHALL BE 100mm THK (M10).
 5. ALL REINFORCEMENT BARS SHALL BE HIGH YIELD STRENGTH DEFORMED BARS OF GRADE Fe-500 CONFORMING TO IS:2008.
 6. DEVELOPMENT LENGTH OF BAR: L_{DE} = 50D.
 7. LAPPING OF BARS SHALL BE STAGGERED AT ANY CROSS SECTION NOT MORE THAN 50% OF THE BARS SHALL BE LAPPED.
 8. TOP REINFORCEMENT OF BEAM SHOULD NOT BE LAPPED AT SUPPORT AND BOTTOM REINFORCEMENT SHOULD NOT BE LAPPED AT MID SPAN.
 9. OVERLAP OF BARS IS NOT PERMITTED IN HANGERS.
 10. STIRRUPS FOR CANTILEVER BEAMS TO HAVE HOOKS AT BOTTOM.
 11. COLUMN HEADERS SHALL BE BENT AT CHARGE OF SECTION WITH SLOPE OF 1:6 (AS AND WHERE REQUIRED REFER TYPICAL LAPPING DETAIL).
 12. THE STRENGTH & STRUCTURAL STABILITY OF SCAFFOLDING, CENTERING & SHUTTERING MATERIAL LIFTS SHALL BE ENSURED BY THE CONTRACTOR AND SHALL BE THE RESPONSIBILITY OF CONTRACTOR.
 13. FOUNDATION & FRAMED STRUCTURE IS DESIGNED FOR THE LOADING OF AAC BLOCKS AS PARTITION WALL.
 14. BUILDING FRAME DESIGNED FOR EARTHQUAKE ZONE-III.
 15. BUILDING FRAME AND FOUNDATION DESIGNED FOR M 30.
 16. ANY DEVIATION FROM STRUCTURAL DRAWINGS SHALL NOT BE ALLOWED WITHOUT WRITTEN PERMISSION OF ARCHITECT.
 17. R/F DETAILING AS PER IS:13002:2014 & WORKMANSHIP SHALL BE DONE AS IS:456:2000.
 18. AS PER THE SOIL REPORT CONSIDERING N.B.C. OF SOIL IS 22.5T/M² AT 3.5M DEPTH FROM N.G.L.
 19. MINIMUM CLEAR COVER TO REINFORCEMENT-
FOOTING = 50 MM (TOP & BOTTOM)
COLUMN = 40 MM ALL AROUND
BEAM = 30 MM ALL AROUND
SLAB = 15 MM BOTTOM & 25 MM EDGE
SHEAR WALL = 40 MM ALL AROUND

REVISION

Rev. No.	Date	Detail	By

PROJECT:-
ADDITIONAL STAFF/ OFFICERS QUARTERS OF RBI AT CHAR IMLI, BHOPAL.

BUILDING:- STP AND ORGANIC WASTE COMPOSTER

SHEET TITLE
COLUMN LAYOUT PLAN & R/F SCHEDULE

CLIENT
RESERVE BANK OF INDIA, BHOPAL

IMPLEMENTING AGENCY
C.P.W.D. BCD-1, NIRMAN SADAN, AREA HILLS, BHOPAL (M.P.)-462011

ARCHITECT
VASTUNDIHI
ARCHITECTURE | MASTER PLANNING | URBAN DESIGNING
135, BLOCK - B, SECTOR - 44, NOIDA - 201 301
P | +91 9818 477 259
E | vastundihi@vastundihi.com

STRUCTURE CONSULTANT
HA STRUCTURE CONSULTANT

Indore office -
112, First Floor Swadesh Bhawan
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104-C (U.G.) Tower A, Advant Business
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MEP CONSULTANT

SHEET NO
HA/2025/RBI/STP/OW/CL/01

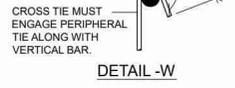
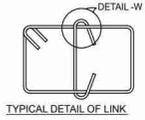
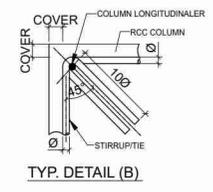
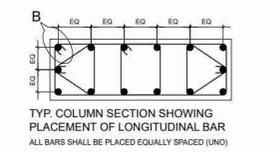
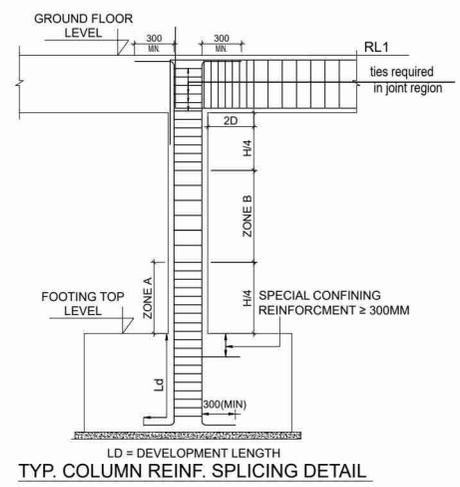
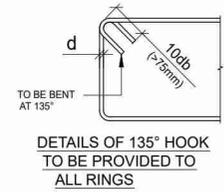
DATE	27-12-2025	CHECKED BY	S.K.	SHEET 1 OF 1
SCALE	1:100	DRAWN BY	RASHIDA	STR-01
STATUS	PRELIMINARY	FOR APPROVAL	GFC	REVISION R-0

AUTHORITY

APPROVED BY

COLUMN & SHEAR WALL SCHEDULE

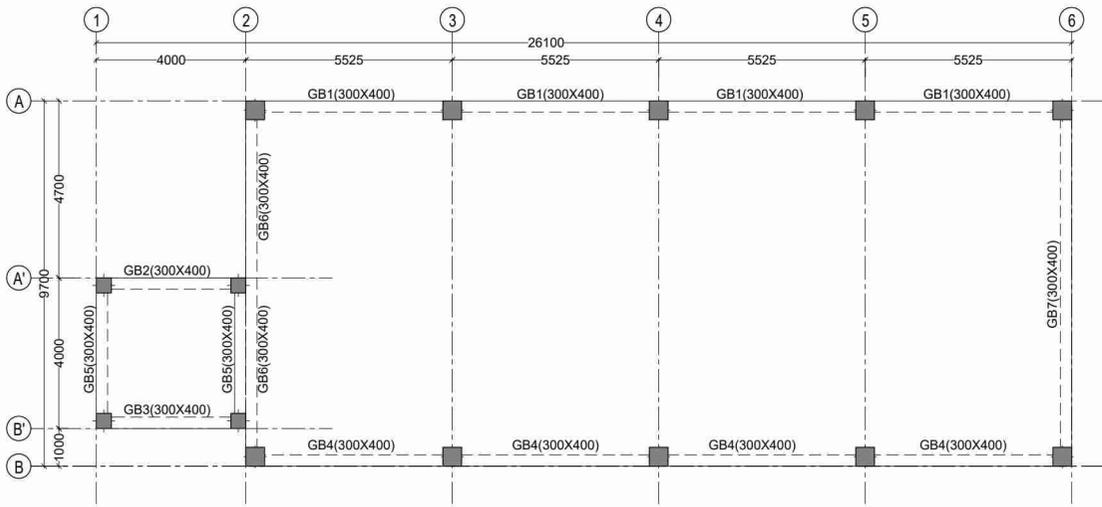
LEVEL	COLUMN/SHEAR WALL SIZE	FOUNDATION TO GROUND FLOOR LVL.	TIES
SHEAR WALL MARK MIX		M-30	
C1		M-30	
C2			



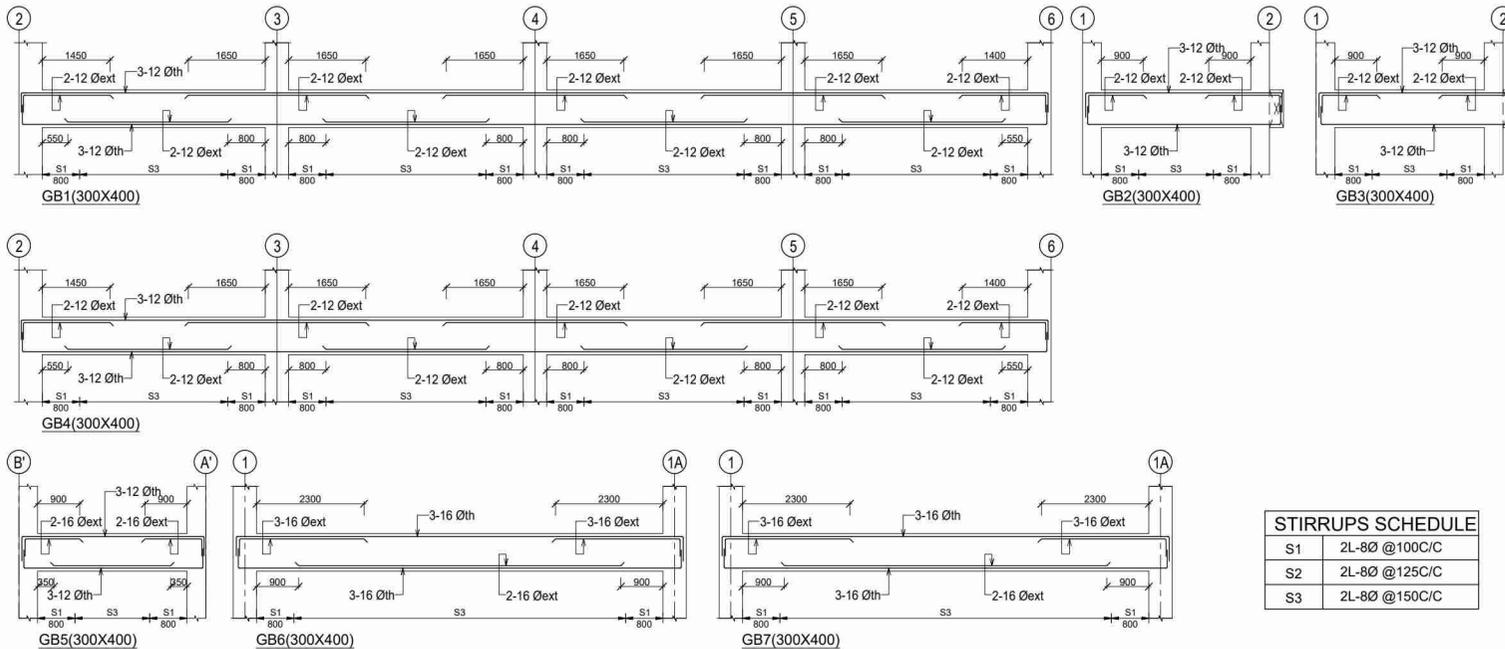
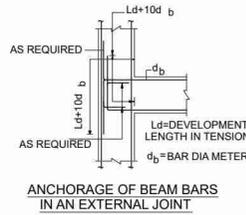
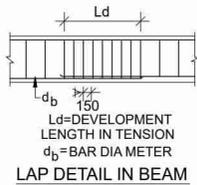
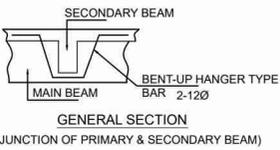
IN CASE DOWEL TO BE PROVIDED FOR COLUMN LONGITUDINAL BAR THEN LENGTH OF DOWELS BAR SHALL BE AS / GUIDELINES FOR LAPPING OF COLUMN LONGITUDINAL BARS.

TIES	ZONE A	8Ø@100c/c	OUTER TIES
S	ZONE A	+8Ø@100c/c	INNER TIES
	ZONE B	10Ø@150c/c	OUTER TIES
		+8Ø@150c/c	INNER TIES





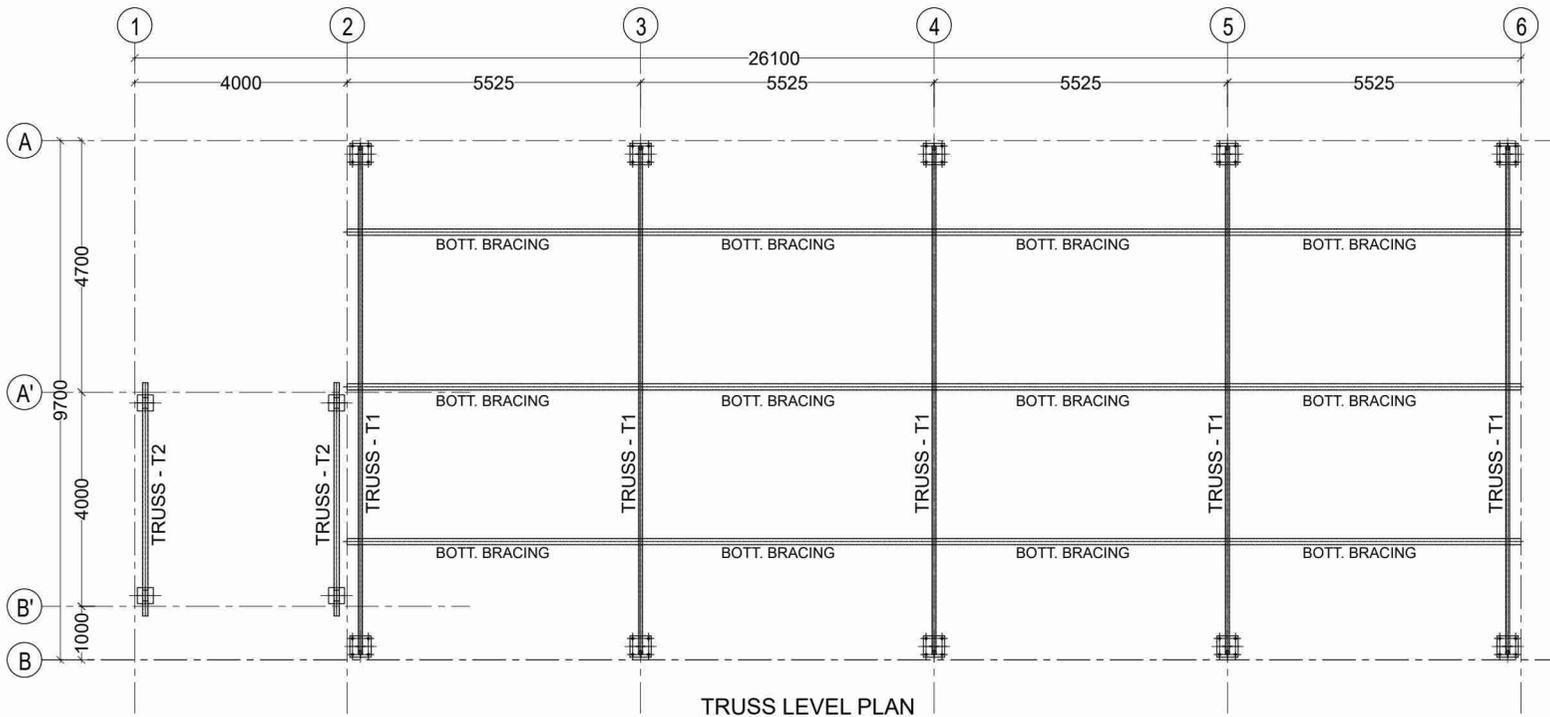
GROUND FLOOR BEAM FRAMING PLAN
(SCALE 1:100)



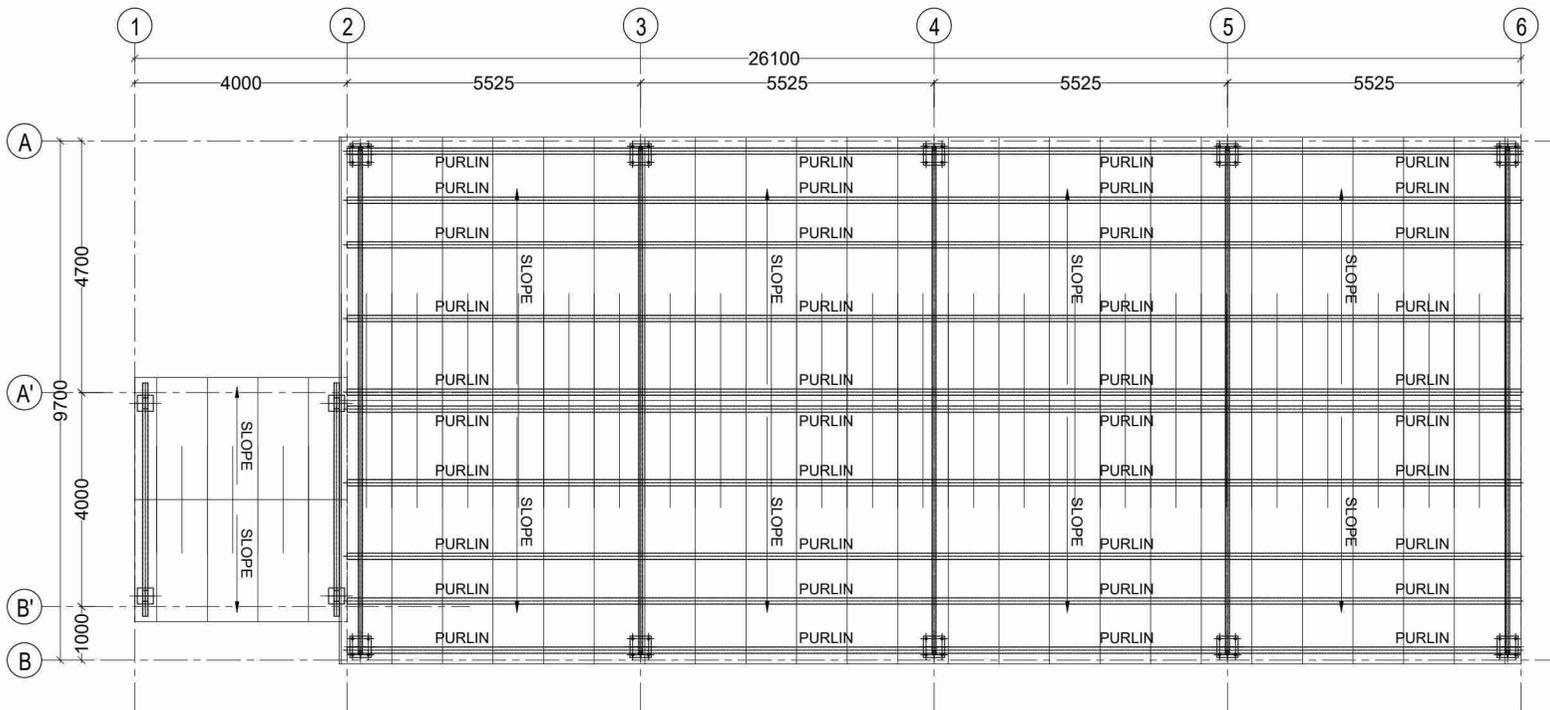
STIRRUPS SCHEDULE	
S1	2L-8Ø @100C/C
S2	2L-8Ø @125C/C
S3	2L-8Ø @150C/C

- REVISION**
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- PROJECT-**
ADDITIONAL STAFF/ OFFICERS QUARTERS OF RBI AT CHAR IMLI, BHOPAL.
- BUILDING-** STP AND ORGANIC WASTE COMPOSTER
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Noida office -
104-C (U.G.) Tower A Advant Business
Park Sector 162 Noida (U.P.)
Email - Ha247@haconsultants.in
- MEP CONSULTANT**
- SHEET NO**
HA/2025/RBI/STP/OWC/GB/03
- | DATE | 27-12-2025 | CHECKED BY | S.K. | SHEET 1 OF 1 |
|--------|-------------|--------------|---------|--------------|
| SCALE | 1:100 | DRAWN BY | RASHIDA | STR-03 |
| STATUS | PRELIMINARY | FOR APPROVAL | GFC | REVISION R.0 |
- AUTHORITY**
- APPROVED BY**





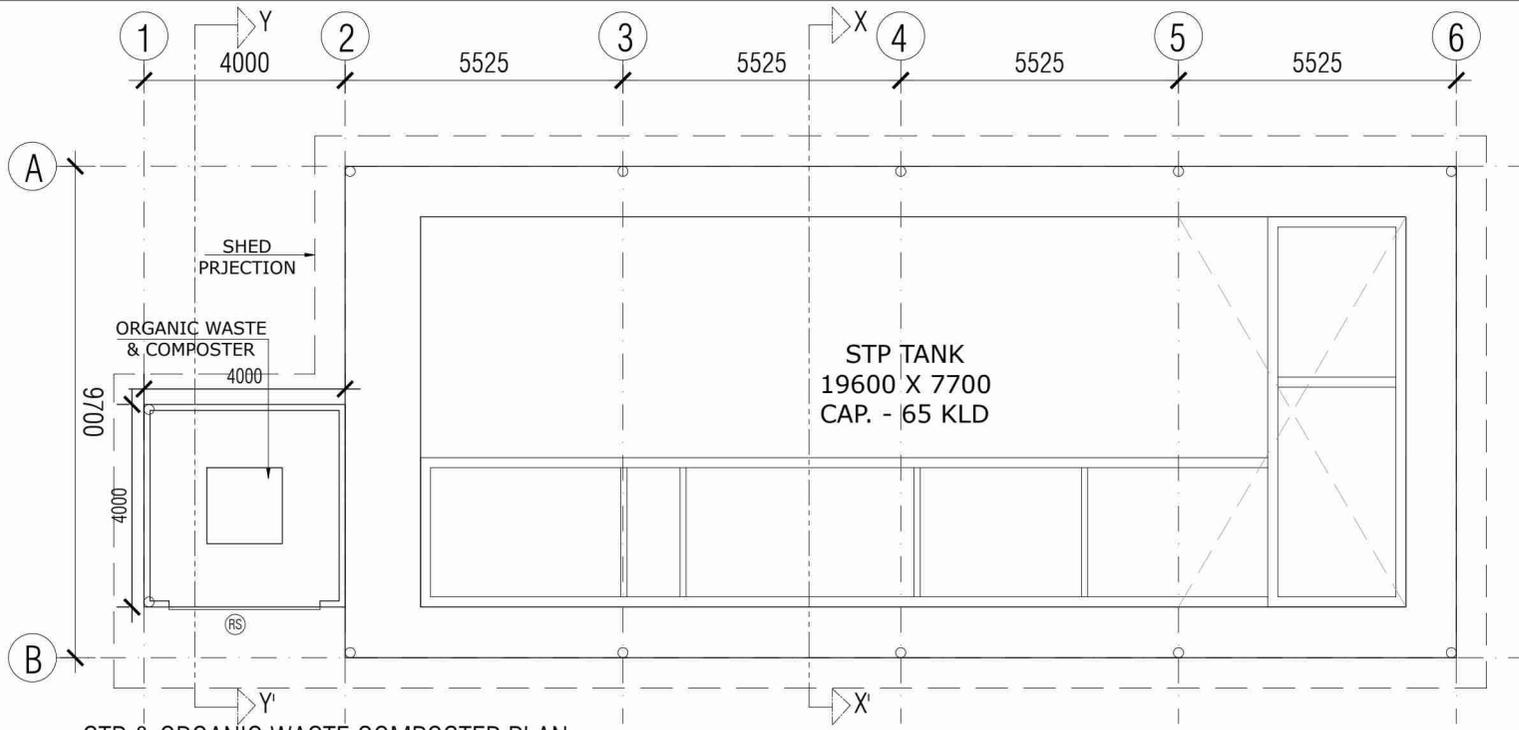
TRUSS LEVEL PLAN



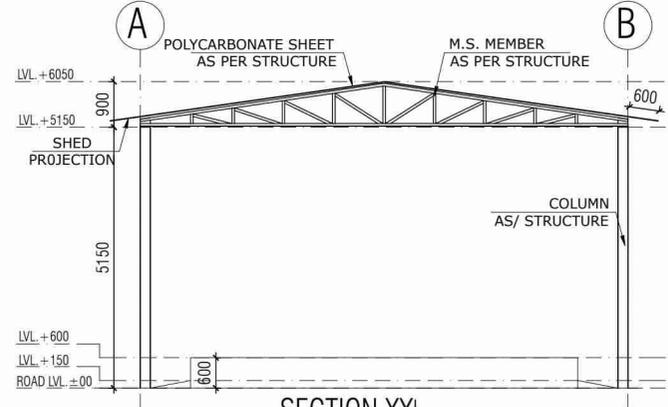
TRUSS - T1 & T2
PURLIN & ROOF SHEET LEVEL PLAN

- REVISION**
- | Rev. No | Date | Detail | By |
|---------|------|--------|----|
| | | | |
- PROJECT:-**
ADDITIONAL STAFF/ OFFICERS QUARTERS OF RBI AT CHAR IMLI, BHOPAL
- BUILDING:-** STP AND ORGANIC WASTE COMPOSTER
- SHEET TITLE**
TRUSS FRAMING PLAN & PURLIN & ROOF SHEET LEVEL PLAN
- CLIENT**
RESERVE BANK OF INDIA, BHOPAL
- IMPLEMENTING AGENCY**
C.P.W.D. BCD-1, NIRMAN SADAN, AREA HILLS, BHOPAL (M.P.)-462011
- ARCHITECT**
VASTUNIDHI ARCHITECTURE | MASTER PLANNING | URBAN DESIGNING
135, BLOCK - B, SECTOR - 44, NOIDA - 201 301
P | +91 9818 477 259
E | vastunidhi@vastunidhi.com
- STRUCTURE CONSULTANT**
HA STRUCTURE CONSULTANT
- Indore office -
112, First Floor Swadesh Bhawan
Near Dainik Bhaskar Press Indore (M.P.)
Noida office -
104-C (U.G.) Tower A Advant Business
Park Sector 162 Noida (U.P.)
Email - Ha247@haconsultants.in
- MEP CONSULTANT**
- SHEET NO** HA/2025/RBI/STP/OWC/TRUSS/04C
- | DATE | 27-12-2025 | CHECKED BY | S.K. | SHEET 4 OF 4 |
|--------|-------------|--------------|---------|--------------|
| SCALE | 1:100 | DRAWN BY | RASHIDA | STR-04C |
| STATUS | PRELIMINARY | FOR APPROVAL | GFC | REVISION R.0 |
- AUTHORITY**
- APPROVED BY**

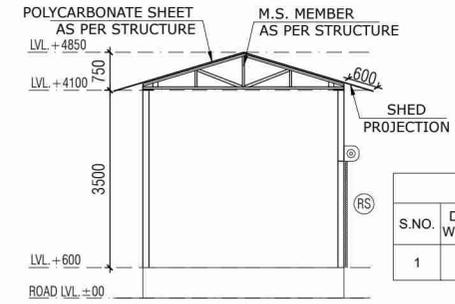




STP & ORGANIC WASTE COMPOSTER PLAN

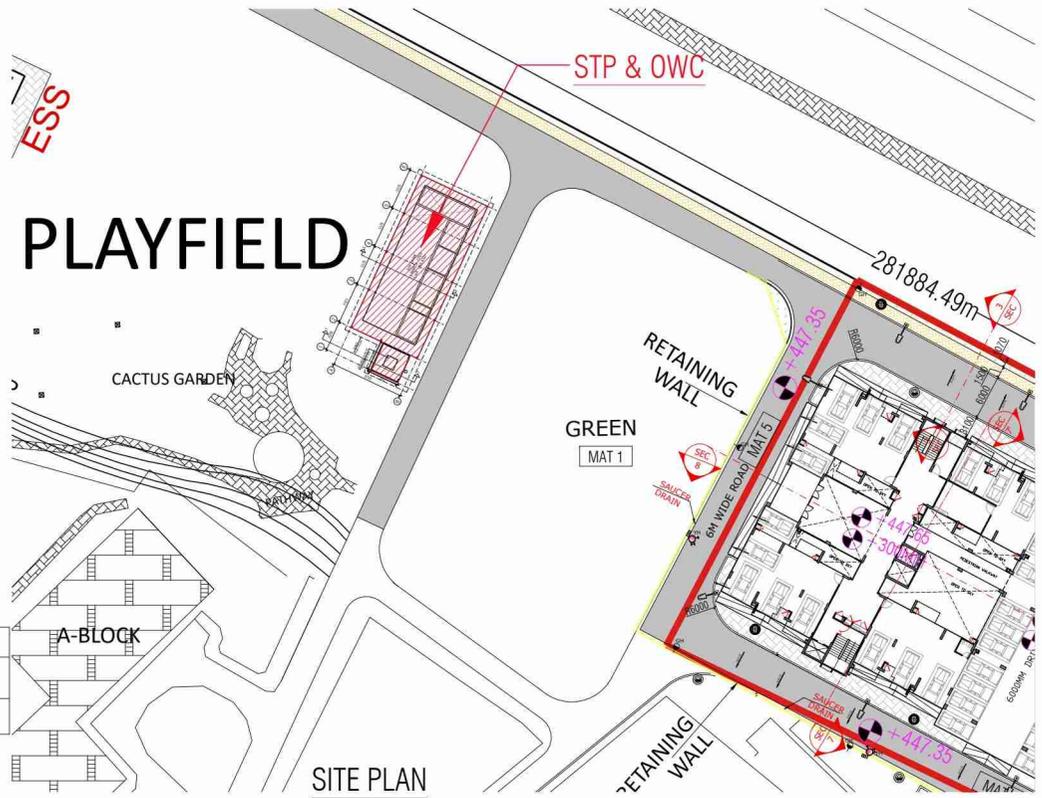


SECTION XX'



SECTION YY'

OPENING SCHEDULE						
S.NO.	DOOR/WINDOW	TYPE	OPENING SIZE	SILL	LINTEL	AREA
1	RS	ROLLING SHUTTER	3000X2100	0	2100	ORGANIC WASTE CONVERT



SITE PLAN

Key Plan -

NOTES :-

1. ALL DIMENSIONS ARE IN MM UNLESS MENTIONED OTHERWISE.
2. ALL DIMENSIONS ARE TO BE READ ONLY AND NOT TO BE MEASURED/ SCALED.
3. THE DRAWING SHOULD BE READ IN CONJUNCTION WITH ALL RELEVANT STRUCTURAL, ARCHITECTURAL, SERVICES AND LANDSCAPE DRAWINGS.
4. ANY DISCREPANCIES IN THE DRAWINGS OR AT SITE SHOULD BE BROUGHT TO THE NOTICE OF THE ARCHITECT IMMEDIATELY.
5. FURNITURE/FIXTURES SHOWN ARE INDICATIVE ONLY. PLEASE REFER RESPECTIVE DETAIL DRAWINGS & SCHEDULES.
6. ARCHITECTURAL DRAWINGS TO BE FOLLOWED FOR THE LOCATION OF ALL STRUCTURAL MEMBERS & MASONRY WALL FOR SIZE AND REINFORCEMENT DETAILS OF STRUCTURAL MEMBERS RELEVANT STRUCTURAL DWGS. TO BE REFERRED.
7. FOR DETAILS REFER RELEVANT ARCHITECTURAL SCALE DETAIL DRAWINGS AT NSCADS.
8. FOR ALL THE DETAILS REGARDING THE GLAZING/ OPENINGS, DETAILED PACKAGE DWGS TO BE FOLLOWED.
9. FOR SILL JAMBES & FINISHES FOLLOW DETAILED DWGS.

Owner
RESERVE BANK OF INDIA,
BHOPAL

Implementing Agency
C.P.W.D.
BCD-1,
NIRMAN SADAN, AREA HILLS,
BHOPAL (M.P.)-462011

Architect
VASTUNIDHI
135 Block B | Sector 44,
Noida 201301 | Uttar Pradesh | India
Ph.: +91-9999 130 569
email : Vastunidhi@vastunidhi.com

Structure Consultant
HENROCK ASSOCIATES
Unit No.732, 7th Floor, Tower B,
Ithum Sector -62 Noida (U.P.)

MEP Consultant
V CONSULTING
B - 50, Basement, Soami Nagar
New Delhi 110017, INDIA
P | 011 49848197 E | info@vconsulting.co.in

Project
ADDITIONAL STAFF/ OFFICER'S
QUARTER OF RBI AT CHAR IMLI,
BHOPAL

Stamp

Drawing Title
STP AND ORGANIC WASTE
COMPOSTER DETAIL

Drawing No.
RBI-BHO-AR-STP-100

Scale
1:75

Status
TENDER DRAWING

Date
19/12/2025

Drawn
C.P

Checked
L.G

Sheet size
594 X 420

This drawing is to be read in conjunction with all related drawings. Do not scale from this drawing. All dimensions must be checked and verified on site before commencing any work or producing shop drawings. The originator should be notified immediately of any discrepancy.

THIS DRAWING IS THE PROPERTY OF VASTUNIDHI AND SHALL NOT BE REPRODUCED OR USED FOR ANY OTHER PURPOSE THAN SPECIFIED WITHOUT WRITTEN PERMISSION.

Inventory REI Grad-A, C+9

Location	Power Point 25 Amp	Power Point 16 Amp 6 Pin	Plug Point 6 Amp 6 Pin	Fancy Wall Switch	Decorative Light	Chandelier	Panic Alarm Station	Call bell with Video Door Phone	Exhaust Fan 100 mm	1500 mm Ceiling Fan	800 mm Ceiling Fan	AC Point	Cover Point	MCD DB	Cable TV Point	Telephone Point	20 W LED fitting	Mirror Light	Profile Light	Ceiling Light / Downlighter	Data Point	Water Purifier	Chimney	35 Ltr Geyser	6 Ltr Geyser	Camera	Shower	AC Fire Extinguisher	CO2 Fire Extinguisher	
Living Room	2	1	5		2					2		1					2		1											
Dining Room	2	1	3		2	1				1		1					1													
Balcony Living Room																														
Bed Room	2	1	9	2	2				1	1		1					1													
Balcony Bed Room			1																											
Kitchen	1	4	6		2				1	1	1						1		1											
Master Bed Room	2	1	9	2	2					1		1					1													
Bedroom Master PWD Toilet																														
Dress Room																														
Store Room																														
Utility Balcony	1	1	1																											
Corridor																														
Entrance								1																						
Total in 1 Qtr	10	9	35	4	8	1	1	1	3	6	1	4	3	1	3	3	6	2	4	7	3	1	1	2	1	0	0	0	0	
Total in 36 Qtr	360	324	1260	144	288	36	36	36	108	216	36	144	108	36	108	108	216	72	144	252	108	36	36	72	36	0	0	0	0	
Corridor																				26						2	2	2	2	
Stair case 1																				1										
Stair case 2																				1										
Total 1 Floor	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	28	0	0	0	0	2	2	2	2	2	
Total in Floor	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	252	0	0	0	0	18	18	18	18	18	
Double height Interchange lobby																				12										
Total for Tower A	360	324	1260	144	288	36	36	36	108	216	36	144	108	36	108	108	216	72	144	516	108	36	36	72	36	18	18	18	18	
Similar for Tower B	360	324	1260	144	288	36	36	36	108	216	36	144	108	36	108	108	216	72	144	516	108	36	36	72	36	18	18	18	18	
G.Total for both towers	720	648	2520	288	576	72	72	72	216	432	72	288	216	72	216	216	432	144	288	1032	216	72	72	144	72	36	36	36	36	

A

 RECSB

Inventory RBI Grad-D, G+7

Location	Power Point 25 Amp.	Power Point 30 Amp. 5 Pin	Plug Point 6 Amp. 5 Pin	Fancy Wall Switch Rating	Decorative Light	Chandelier	Call bell with Video Door Phone	Exhaust Fan 200 mm sweep	1200 Ceiling Fan	900 Ceiling Fan	AC Point	Open Point	MCD DB	Cable TV Point	Telephone Point	20 W LED Bulb	Mirror Light	Point Light	Ceiling Light Downlighter	Data Point	Water Printer	Chimney	25 Ltr. Oper	4 Ltr. Oper	Camera	Shoage	AIC Fire Extinguisher	CO2 Fire Extinguisher		
Foyer																														
Drawing Room	2	1	5		2	1			2		1		1	1	1	2		1		1										
Dining Room	2	4	3		2						1					1		1		1										
Store Room																														
Study Room	1	1																												
Toilet attached to Study Room																														
Public Balcony		1	1																											
Kitchen	1	4	6						1	1	1	1				1		1		1	1									
Guest Bed Room	2	1	9		2	2																								
Toilet Guest Bed Room																														
Balcony Guest Bed Room																														
Master Bed room	2	1	9		2	2			1	1	1	1				1	1	1		1			1							
Toilet Master Bed Room																														
Dress Room																														
Balcony Master Bed Room			1																											
Bed room	2	1	9		2	2					1	1				1	1	1		1			1							
Toilet Bed room																														
Dress Room																														
Balcony Bed Room			1																											
Entrance							1																							
Total in 1 Qtr	12	14	44	6	10	1	1	4	8	1	5	4	1	5	5	9	3	6	5	5	1	1	3	1	0	0	0	0	0	
Total in 11 Qtr	132	154	484	66	110	11	11	44	88	11	55	44	11	55	55	88	33	66	55	55	11	11	33	11	0	0	0	0	0	
Corridor																														
Lift Lobby																														
Stair case 1																														
Stair case 2																														
Total 1 Floor	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	2	4	2	2	2	
Similar to 6 Floor	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	72	0	0	0	0	0	12	24	12	12	12	
G. Total	132	154	484	66	110	11	11	44	88	11	55	44	11	55	55	88	33	66	139	55	11	11	33	11	14	28	14	14	14	





 (ME/05)

Inventory RBI Class 3, S+7

Location	Power Point 25 Amp	Power Point 15 Amp 6 Pin	Plug Point 6 Amp 6 Pin	Fanny Wall Bracket Fitting	Decorative Light	Public Alarm button	Call bell with Video Door Phone	Exhaust Fan 200 mm Sweep	1200 mm Ceiling Fan	900 mm Ceiling Fan	AC Point	Cover Point	MCR DB	Cable TV Point	Telephone Point	20 WLED Dimm	Mirror Light	Profile Light	Ceiling Light / Downlighter	Data Point	Water Purifier	Chimney	25 Lit Oper	6 Lit Oper	Camera	Sponge	Air Fire Extinguisher	CO2 Fire Extinguisher	
Living cum dining Room	2	4	8		4			1	2	1	1	1	1	1	1	3		1		1	1	1							
Kitchen	1	4	6									1				1					1	1							
Kitchen Balcony			1																1										
Bed Room 1	2	1	9	2	2				1		1			1	1	1		1		1									
Bed Room 2	2	1	9	2	2				1		1			1	1	1		1		1									
Totlt Attached to Bed Room 2 Toilet attached								1				1					1												
Balcony Bed																													
Room 1																													
Balcony Bed																													
Room 2																													
Balcony Living Room																													
Entrance							1																						
Total in 1 Qtr	7	10	36	4	8	1	1	3	4	1	3	3	1	3	3	6	2	4	4	3	1	1	2	1	0	0	0	0	
Total in 28 Qtr	196	280	1008	112	224	28	28	84	112	28	84	84	28	84	84	168	56	112	112	84	28	28	56	28	0	0	0	0	
Corridore																			16										
Lift Lobby									1										2										
Stair case 1																			1										
Stair case 2																			1										
Total 1 Floor	0	0	0	0	0	0	0	0	1	0	0	0	0	0	0	0	0	0	20	0	0	0	0	0	2	4	2	2	
Total in 8 Floor	0	0	0	0	0	0	0	0	8	0	0	0	0	0	0	0	0	0	160	0	0	0	0	0	16	32	16	16	
Double Height Interance lobby																			12										
G. Total	196	280	1008	112	224	28	28	84	120	28	84	84	28	84	84	168	56	112	284	84	28	28	56	28	16	32	16	16	


 (R) [Signature]
 P/E 05/1

Inventory RBI RD Bungalow

Location	Power Point 25 Amp	Power Point 10 Amp-9 Pin	Power Point 6 Amp 6 Pin	Emergency Wall Fitting	Decorative Light	Chandelier	Call bell with Video Door Phone	Exhaust Fan 200 mm sweep	3200 mm Ceiling Fan	900 mm Ceiling Fan	AC Point	Over Point	MCB DB	Cable TV Point	Telephone Point	20 W LED fixture	Mirror Light	Profile light	Ceiling Light/Bowl Light	Data Point	Water Purifier	Chimney	25 Ltr Geyser	6 Ltr Geyser	Camera	ABC Fire Extinguisher	CO2 Fire Extinguisher
Ground Floor																											
Foyer							1												4								
Bed Room 1	2	1	9	2	2			1	1		1			1	1	1	1	1		1							
Toilet Bed Room 1								1																			
Dress Room 1																			1								
Living Room	2	1	5		2				2					1	1	2		1	2								
Lobby													1														
Dining Room	2	3	3		2	1			2					1	1	2		1		1							
Bed Room 2	2	1	9	2	2				1		1			1	1	1		1		1							
Toilet Bed Room 2								1																			
Dress Room 2																											
Kitchen	1	4						1		1								1	1								
Entrance Lobby																			2								
Store Room																											
Utility Room	1	1																									
Office	1	2	2	1	1				1		1				1	2		4		1					1	2	2
Toilet 1								1									1										
Toilet 2								1																			
Server Room	2	1	7	2	2				1		1			1	1					1							
Toilet 1 Server Room								1																			
Toilet 2 Server Room								1																			
Server Kitchen	1	4																									
First Floor																											
Bed Room 1	2	1	9	2	2			1	1		1			1	1	1	1	1		1							
Toilet Bed Room 1								1																			
Dress Room 1																											
Balcony 1			1																								
Bed Room 2	2	1	9	2	2			1	1		1			1	1	1	1	1		1							
Toilet Bed Room 2								1																			
Dress Room 2																											
Balcony 2			1																								
Total	18	20	55	11	15	1	1	9	10	1	6	9	1	7	8	11	9	8	16	8	2	2	8	2	1	2	2

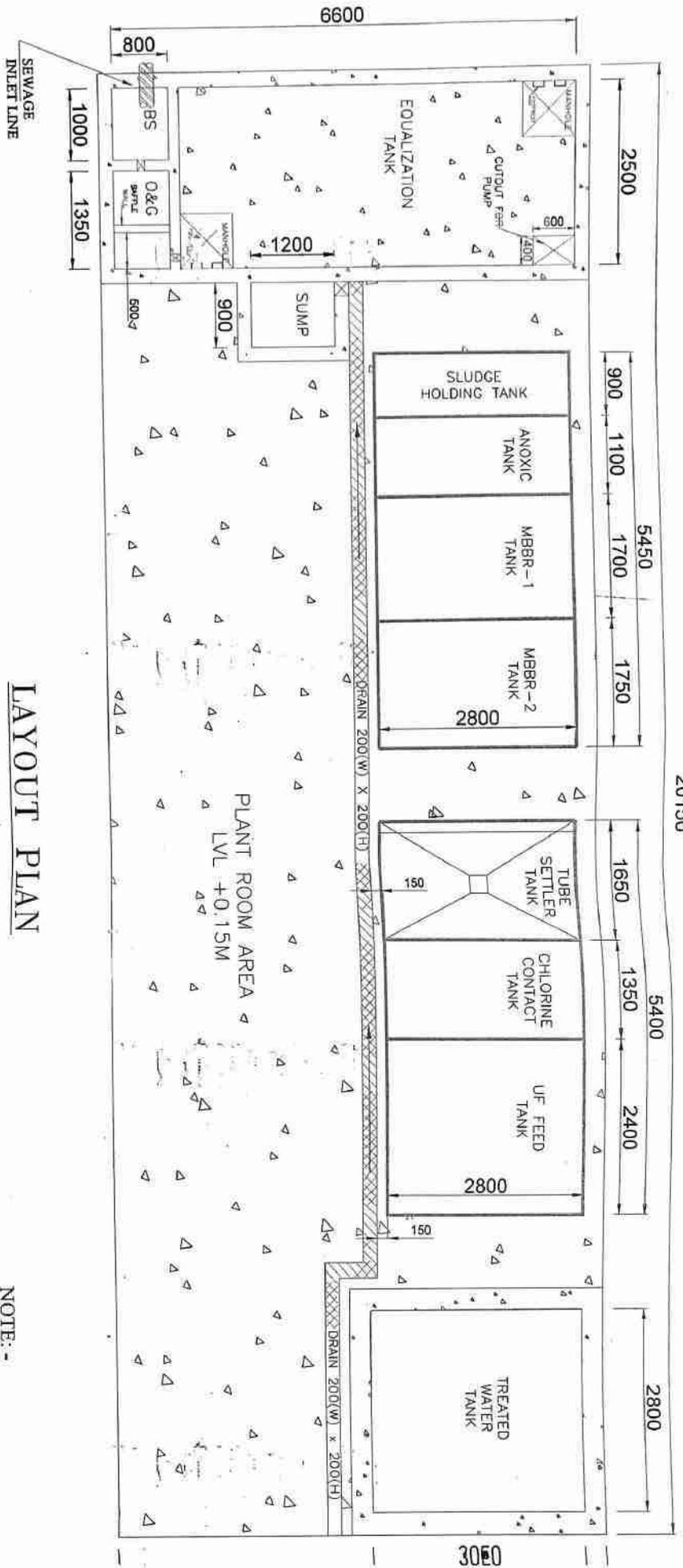


 (P/205)

S. No.	Description	Size	Remarks
01	Bar Screen Chamber	1000 x 800 x 800mm (D)	R.C.C.
02	Oil & Grease Trap	1350 x 800 x 1400mm (D) L.D. -800mm	R.C.C.
03	Equalization Tank	2500 x 6600 x 3000mm (D) L.D. -2400mm	R.C.C.
04	Sludge Holding Tank	900 x 2800 x 2800mm (H) L.D. -2500mm	MS
05	Anoxic Tank	1100 x 2800 x 2800mm (H) L.D. -2500mm	MS
06	MBBR-1 Tank	1700 x 2800 x 2800mm (H) L.D. -2400mm	MS
07	MBBR-2 Tank	1750 x 2800 x 2800mm (H) L.D. -2300mm	MS
08	Tube Settler Tank	1650 x 2800 x 2800mm (H) L.D. -2100mm	MS
09	Chlorine Contact Tank	1350 x 2800 x 2800mm (H) L.D. -2100mm	MS
10	UF Feed Tank	2400 x 2800 x 2800mm (H) L.D. -2500mm	MS
11	Treated Water Tank	3050 x 2800 x 2800mm (H) L.D. -2500mm	R.C.C.
12	Sump	900 x 1200 x 1500mm (D)	R.C.C.

LIST OF TANKS

LAYOUT PLAN



NOTE:-
GI SHED / RCC ROOF COVER
REQUIRED FOR WHOLE PLU

(Signature)
R.C.C.

PROJECT :- 75 KLD STP MBBR			
PROJECT SITE :- BHOPAL			
CLIENT :-			
DRAWN BY	DATE	CHKD. BY	APPD. BY
T.S.	26.12.2025	P.M.	
REV. NO.	R1		
REV. DATE			
DWG. NO. :- MG/STP/175 KLD / LAYOUT / 01			